

11 Lindores Street, Addington Christchurch

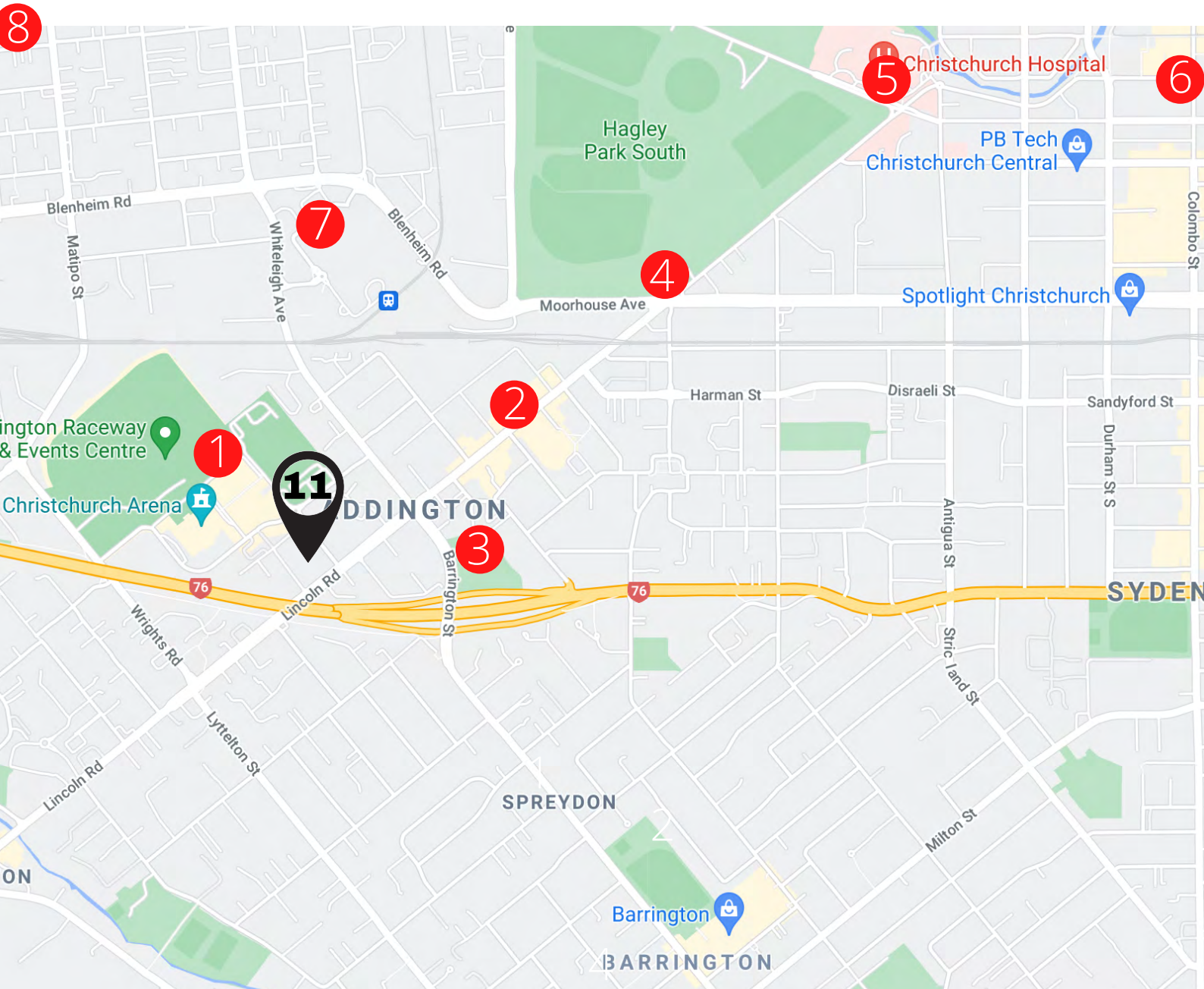
Brooksfield Modern



BROOKSFIELD

Location

Located on Lindores Street, just down from the popular Addington Coffee Co-op and 2 minute drive to the hospital. See below some of our favourite amenities and their distance from your next home or investment.



1 Addington Raceway (20m)

2 Addington Coffee Co-op (800m)

3 Addington Park (400m)

4 Hagley Park (1.6km)

5 Christchurch Hospital (3km)

6 City Centre (4.8km)

7 Tower Junction Shopping Centre (1.7km)

8 Airport (10km, 15mins)

BROOKSFIELD

Layout

These 4 homes thoughtfully laid out and designed with North West living in mind. Each home comes with a large outdoor living space and a carpark. The wide driveway is lined with conifers, and established planting throughout.



PLANT LEGEND



TYPE 1 - CONIFER
"Thuja occidentalis
"Pyramidalis"

1



TYPE 2 - LIME TREE
"Tilia x europaea"

2



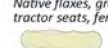
TYPE 3 - GRISELINIA
LITTORALIS HEDGE
"Broadway Mint"



TYPE 4 - KARAKA
"Corynocarpus
laevigatus"



TYPE 5 GRASS/FERN/
SHRUB/HYDRANGEA
MIX
Native flaxes, grasses,
tractor seats, ferns, etc.



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Design and Interior

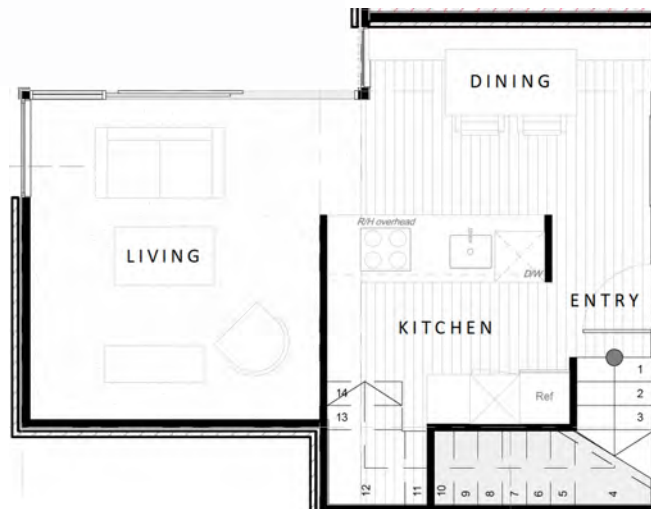
11 Lindores Street is laid out across two floors, with your kitchen, dining, living on the ground floor. This includes a large kitchen with a separate dining area. Upstairs is two bedrooms, one with a built in desk and large tiled bathroom.



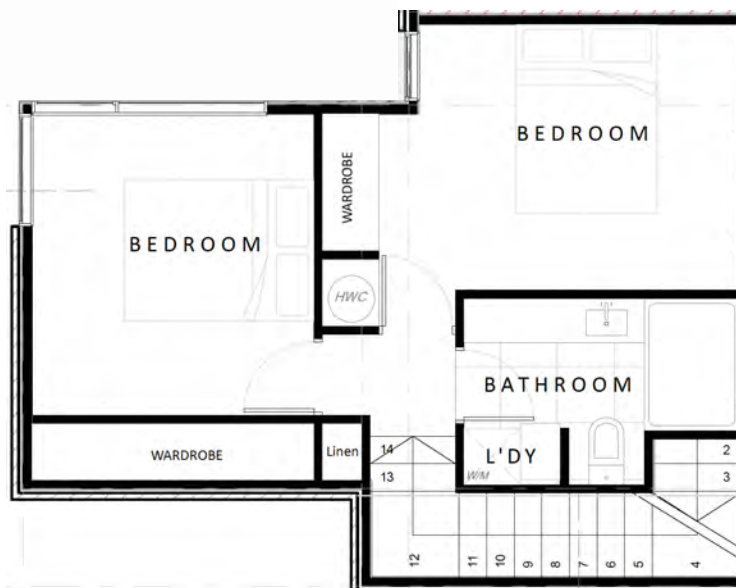
Floor Area m2

76

Ground Floor



First Floor



BROOKSFIELD

Modern Colours & Specifications

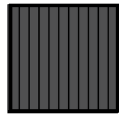
Exterior



Cladding - Painted Brick



Cladding - Natural cedar



Roof - Longrun roofing



Doorhandle - Schlage S-6000 keyless entry

Interior



Walls - Clover Honey, 100% natural plant based paint



Carpet - 100% Wool



Skirtings, ceilings & doors - Quarter Clover Honey, 100% Natural plant based paint



Kitchen Floor - Natural Cork



Bathroom Wall Tile - Cerene Concrete



Kitchen Cabinets - Bestwood Ranfurly Oak



Bathroom Floor Tile - Cerene Concrete



Kitchen Bench - Stone - Coronet Peak



Roller Blinds - White - to all living areas



Splashback - Subway Tiles



Venetian Blinds - White - Bedrooms



Wool Insulation

Modern Plumbing & Electrical

Plumbing



Kitchen Mixer - Brusked Nickel
Mizu Drift 4 Star water rating



Bathroom Vanity - Wall hung stone top - Timber



Toilets - Nova BTW



Shower mixer - Mizu Drift



Downstairs W/C vanity



Showerhead & rail - Posh
Domaine Brass Rail Shower



Bathroom mixers - Mizu Drift
4 star water rating



toilet roll holder



Robe Hooks - Bathroom



Glass shower tray on tiles

Electrical



Heated towel rail - 400x600
Elan 20R



Mirror - round mirror with
demist heater behind



Downlights - LED Switch downlight



Plugs - Iconic Switchgear



Outdoor lights - Modern up/down



Bathroom heater - Serene
2068 heater

Appliances



Oven - Smeg Single Wall Oven



Rangehood - Applico Canopy Rangehood



Cook Top - Smeg 4 Zone Induction Cooktop



Dishwasher - Smeg Freestanding Dishwasher



Heat Pump - Fujitsu - KW dependant on size to meet tanancy act



Laundry Tub - Extra Thick Steel Tub & Cabinet

BROOKSFIELD

-PROPERTY MANAGEMENT-



Rental Assessment

24th June 2021

- 11 Lindores St



Modern Fixtures & Appliances

Neutral Colours

Landscaping

North West facing

Thank you for the opportunity to provide a rental assessment on the property situated at 11 Lindores St, Addington.

After viewing the information supplied including photos, and research into current listings available, and recently rented, along with recent statistics, I believe a fair market rent would be between \$480 - \$500 unfurnished, for a long term rental.

Please don't hesitate to make contact if you have any questions about the rent appraisal.

Thanks

Sue Banks

Senior Property Manager

Ph: 021 257 7882

Email: sue@brooksfield.co.nz

DWA. PROJECT AND SHEET INDEX

| | |
|----------|--------------------|
| DATE | 04/10/2021 |
| JOB NO. | DW1256 |
| DRAWN | HGW, MH & DH |
| CHECKED | DWA |
| ISSUE | TRUSS DESIGN ISSUE |
| REVISION | D |

| | |
|------|--------------------------------|
| A000 | PROJECT INTRODUCTION |
| A001 | EXISTING/SEDIMENT CONTROL PLAN |
| A002 | SITE PLAN |
| A003 | SITE BOUNDARY PLAN |
| A004 | LANDSCAPING PLAN |
| A100 | GROUND FLOOR PLANS |
| A101 | FIRST FLOOR PLANS |
| A103 | ROOF PLAN |
| A200 | SITE ELEVATIONS |
| A201 | SITE ELEVATIONS |
| A300 | SECTIONS |



**Design
Workshop
Architecture.**

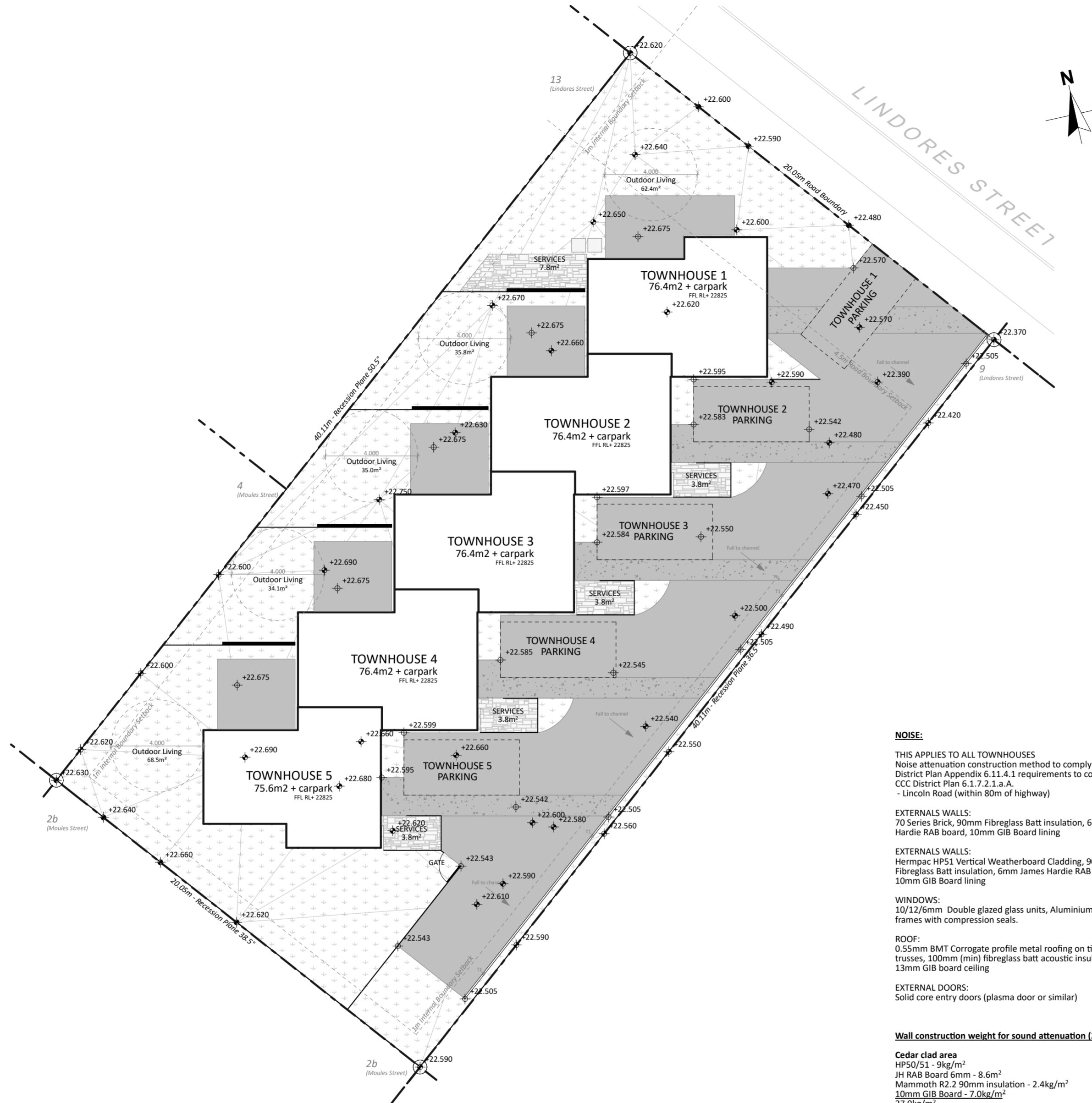
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Ferrymead
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L i n d o r e s S t r e e t T o w n h o u s e s
1 1 L i n d o r e s S t r e e t , A d d i n g t o n , C h r i s t c h u r c h

0. SITE PLAN
SCALE 1:150



- SITE PLAN LEGEND**
- Boundary Line
 - Boundary setback as per TA District Plan
 - BUILDINGS / PROPOSED BUILDINGS

Driveway / Paved Area
Plain sponge finish concrete, 200mm cut board with black tint seal, 100mm slab with SE62 reinforcing on AP40 Grade engineering fill compacted in 150mm layers - 1:100mm falls as shown, typically away from dwelling - finish to have slip resistance to comply with NZBC D1/AS1

Vegetation
Refer to Landscape Design for further detail.

Outdoor tap
- Brass outdoor hose tap

PROJECT INFO:

Address: 11 Lindores Street
Addington
Christchurch

Legal Description: Lot 1 DP 12927
Title: CB495/211

Site Area: 804m² (more or less)
Building Area: 381.2m² (197.5m² overslab)
Site Coverage: 24.6%

Planning Zone: Residential Suburban Density Transition (RSDT)
Natural Hazards: Medium Liquefaction Vulnerability

Wind Zone: Low
Earthquake Zone: 2
Exposure Zone: C
Sea Spray Zone: No
Climate Zone: 3
Land Zone: TC2
Flood Management: N/A

PROJECT FIGURES:

Gross Floor Area: Unit 1 - 76.4m² (39.2m² over slab)
Unit 2 - 76.4m² (39.2m² over slab)
Unit 3 - 76.4m² (39.2m² over slab)
Unit 4 - 76.4m² (39.2m² over slab)
Unit 5 - 75.6m² (38.8m² over slab)
Total - 381.2m² (197.5m² over slab)

Net Floor Area: Unit 1 - 71.4m²
(from internal wall) Unit 2 - 71.4m²
Unit 3 - 71.4m²
Unit 4 - 71.4m²
Unit 5 - 70.7m²

Impervious Areas: 246.4m² (driveway)
53.7m² (Patios x5)
197.4m² (buildings over slab)
Total - 497.5m² (61.9% cover)

Landscaping Area: 214.0m² (26.6%)
Planting Area: 105.2m² (13.1%)

Earthworks: 59.3m³ / 0.3m deep Fill (Drives)
1.0m³ / 0.1m deep Fill (Patios)
60.3m³ / 0.3m deep Excavation
(excluding building foundations and 1.8m perimeter)

SITE PLAN GENERAL NOTES

Contractor to confirm all dimensions on site.

All drawings to be read in conjunction with engineering/consultants documentation.

Confirm all existing services on site.

Contractor to confirm with designer if there is a conflict between consultant documentation and accepts liability for decisions made without consultation.

All unpaved areas are to be a minimum of 225mm below Finished Floor Level. Paved areas to be a minimum of 150mm.

LEGEND - LEVELS

- Proposed Finished Ground / Surface Level
- Existing Ground Level

Existing Site Levels based on Davis Ogilvie Survey Plan Ref. 41377, carried out on the 05/07/2021

Minimum FFL: No specific requirement (District plan/flood assessment)

NOISE:

THIS APPLIES TO ALL TOWNHOUSES
Noise attenuation construction method to comply with CCC District Plan Appendix 6.11.4.1 requirements to comply with CCC District Plan 6.1.7.2.1.a.A.
- Lincoln Road (within 80m of highway)

EXTERNALS WALLS:
70 Series Brick, 90mm Fibreglass Batt insulation, 6mm James Hardie RAB board, 10mm GIB Board lining

EXTERNALS WALLS:
Hempac HP51 Vertical Weatherboard Cladding, 90mm Fibreglass Batt insulation, 6mm James Hardie RAB board, 10mm GIB Board lining

WINDOWS:
10/12/6mm Double glazed glass units, Aluminium window frames with compression seals.

ROOF:
0.55mm BMT Corrugate profile metal roofing on timber trusses, 100mm (min) fibreglass batt acoustic insulation, 13mm GIB board ceiling

EXTERNAL DOORS:
Solid core entry doors (plasma door or similar)

Wall construction weight for sound attenuation (25kg/m² min.):

Cedar clad area
HP50/51 - 9kg/m²
JH RAB Board 6mm - 8.6m²
Mammoth R2.2 90mm insulation - 2.4kg/m²
10mm GIB Board - 7.0kg/m²
27.0kg/m²

70 Series Brick area
70 Series Brick >115kg/m²

NOTES:

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| New Concept Issue | B | 14/09/2021 |
| Resource Consent Issue | C | 24/09/2021 |
| Truss Design Issue | D | 04/10/2021 |

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Consultants

CLIENT
Brookfield Living

PROJECT NAME
Lindores Street Townhouses

PROJECT ADDRESS
11 Lindores Street
Addington
Christchurch



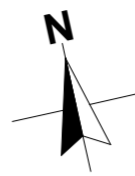
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www.dwa.co.nz | team@dwa.co.nz | 41008 Ferry Road, Ferrymead, Christchurch

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|-------------|--------------|
| SCALE | 1:150 @ A2 |
| DATE | 04/10/2021 |
| JOB NO. | DW1256 |
| DRAWN | HGW, MH & DH |
| CHECKED | DWA |
| DRAWING NO. | REVISION |

A002 **D**
DRAWING NO.
SITE PLAN

0. LANDSCAPING PLAN
SCALE 1:150



LANDSCAPING LEGEND

- Grass Area
- Planting area
 - native grasses planted, 1 / m2 approx to suit
 - medium bark chip finished
- Lime Chip Area
 - lime chip finished
- Paver
 - 600x600 concrete pavers
- Patio
 - formed with 100mm concrete slab

Notes:
 - All Trees to be 1.5m (min) height at time of planting
 - Planting beds to be medium bark chip finished
 - Landscaping areas to be 50% trees, 50% shrubs
 - For planting refer to **Plant Legend**

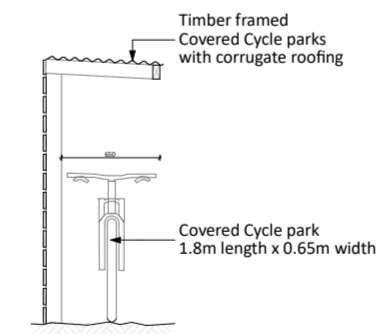
PLANT LEGEND

| | | | | |
|---|--|--|--|--|
| | | | | |
| TYPE 1 - CONIFER " <i>Thuja occidentalis</i> "Pyramidalis" | TYPE 2 - LIME TREE " <i>Tilia x europaea</i> " | TYPE 3 - GRISELINIA LITTORALIS HEDGE "Broadway Mint" | TYPE 4 - KARAKA " <i>Corynocarpus laevigatus</i> " | TYPE 5 GRASS/FERN/SHRUB/HYDRANGEA MIX Native flaxes, grasses, tractor seats, ferns, etc. |
| | | | | |

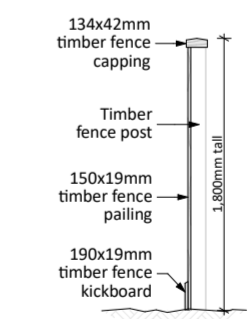
LETTERBOX



- 5x Box Design letterbox on front boundary fence with Street number and unit lettering



COVERED CYCLE PARKING
SCALE 1:50



FENCE DETAIL
SCALE 1:50

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 Christchurch



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www.dwa.co.nz | team@dwa.co.nz | 4/1008 Ferry Road, Ferrymead, Christchurch

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| DATE | 04/10/2021 |
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| DRAWN | HGW, MH & DH |
| CHECKED | DWA |
| DRAWING NO. | REVISION |

A004 **D**
 DRAWING NO.
LANDSCAPING PLAN



E-02 EAST ELEVATION
SCALE 1:100



E-04 WEST ELEVATION
SCALE 1:100



E-05 STREET ELEVATION
SCALE 1:100

- LEGEND**
- Roof**
- Dimond Corrugate Colorsteel Endura roof cladding over Thermokraft Covertek roof underlay
- Colour to be selected by Brookfield Living.
 - Brick**
- 70 Series brick on 40mm drained cavity system over wall underlay.
- Colour to be selected by Brookfield Living.
 - Vertical Timber Board**
- 16-20mm vertical timber cladding. Colour/species to be selected by Brookfield Living.
 - Painted Fibre Cement Board**
- 16-20mm fibre cement cladding. Colour to be selected by Brookfield Living.
 - Permanently Obscured Glass**
- As required by Christchurch District Plan 14.4.2.8
 - Entry Canopy**
- Atrium entrance canopy
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- APL powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/A51

Risk Matrix - East

| | |
|-------------------------|----------|
| Wind zone: | 0 |
| Number of storeys: | 1 |
| Roof/wall intersection: | 1 |
| Eaves width: | 5 |
| Envelope complexity: | 1 |
| Deck design: | 0 |
| TOTAL: | 8 |

Risk Matrix - West

| | |
|-------------------------|-----------|
| Wind zone: | 0 |
| Number of storeys: | 1 |
| Roof/wall intersection: | 3 |
| Eaves width: | 5 |
| Envelope complexity: | 1 |
| Deck design: | 0 |
| TOTAL: | 10 |

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A200 **D**

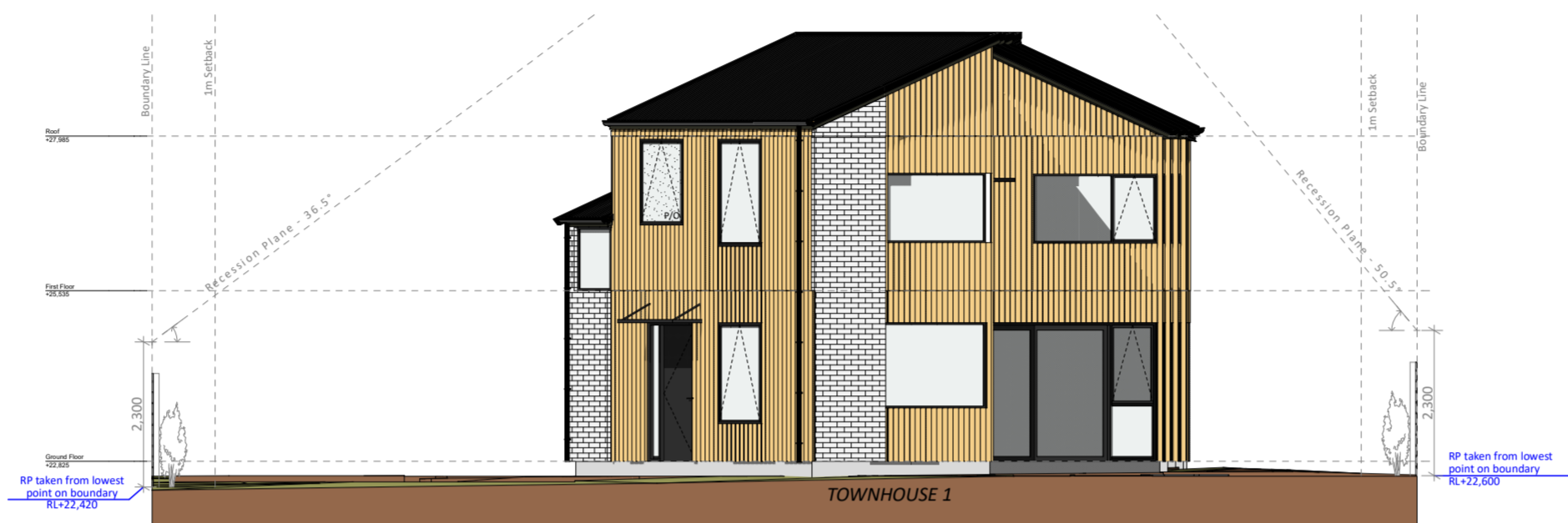
DRAWING NO.
SITE ELEVATIONS

NOTES:

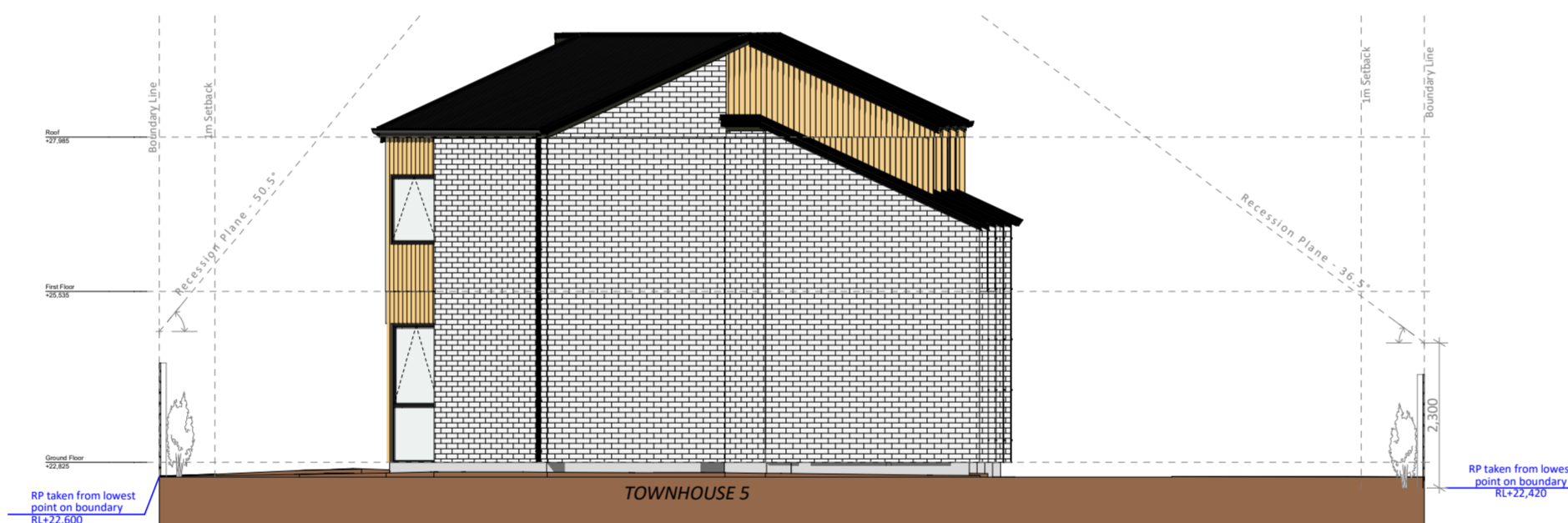
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E-01 NORTH ELEVATION
SCALE 1:100



E-03 SOUTH ELEVATION
SCALE 1:100

Risk Matrix - North

| | |
|-------------------------|-----------|
| Wind zone: | 0 |
| Number of storeys: | 1 |
| Roof/wall intersection: | 1 |
| Eaves width: | 5 |
| Envelope complexity: | 6 |
| Deck design: | 0 |
| TOTAL: | 13 |

Risk Matrix - South

| | |
|-------------------------|-----------|
| Wind zone: | 0 |
| Number of storeys: | 1 |
| Roof/wall intersection: | 3 |
| Eaves width: | 5 |
| Envelope complexity: | 1 |
| Deck design: | 0 |
| TOTAL: | 10 |

LEGEND

- Roof**
- Dimond Corrugate Colorsteel Endura roof cladding over Thermokraft Covertex roof underlay
- Colour to be selected by Brooksfield Living.
- Brick**
- 70 Series brick on 40mm drained cavity system over wall underlay.
- Colour to be selected by Brooksfield Living.
- Vertical Timber Board**
- 16-20mm vertical timber cladding. Colour/species to be selected by Brooksfield Living.
- Painted Fibre Cement Board**
- 16-20mm fibre cement cladding. Colour to be selected by Brooksfield Living.
- Permanently Obscured Glass**
- As required by Christchurch District Plan 14.4.2.8
- Entry Canopy**
- Aural entrance canopy

Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan

Downpipes to be 80Ø, finish & colour to match roofing (UNO)

APL powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

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A201 **D**
DRAWING NO.
SITE ELEVATIONS

Price List

| House | Bedrooms | Bathrooms | Carparks | House Size | Price |
|---------|----------|-----------|-----------|------------|--------------|
| House 1 | 2 | 1 | 1 Carpark | 75m2 | \$709,000.00 |
| House 2 | 2 | 1 | 1 Carpark | 75m2 | \$699,000.00 |
| House 3 | 2 | 1 | 1 Carpark | 75m2 | \$699,000.00 |
| House 4 | 2 | 1 | 1 Carpark | 75m2 | \$699,000.00 |
| House 5 | 2 | 1 | 1 Carpark | 75m2 | \$715,000.00 |

Expected Start

August 2022

Expected Completion

March 2023

Title Type

Fee Simple

All prices include a full turnkey property, meaning it includes everything ready to move into on settlement.

BROOKSFIELD