

193 GERALDINE STREET

St Albans, Christchurch

Three 'Cottage Revival' Homes



BROOKSFIELD

0800 548 454 | [brooksfield.co.nz](https://www.brooksfield.co.nz)

ABOUT US

Brooksfield

Established in 2019, Brooksfield began property development with a simple goal - create unique homes for people to love where they live. We do not use a 'cookie cutter' design as each one of our developments is tailored to the site, suburb and surroundings. We are on a mission to breathe new life into Christchurch suburbs from stunning modern designs to our unique heritage style townhouses.

Over the past few years we have fine tuned our builds and are constantly looking for ways that we can better our designs to include the latest in design trends, durability and affordability.

“Our homes cover all styles of living, but they’re all linked by a common theme: bright, light-filled spaces, great, practical liveability, and stylish contemporary appeal.”

- Vincent Holloway, Brooksfield director

THE BROOKSFIELD DIFFERENCE

We believe that your home should bring a sense of pride every time you arrive home. We challenge ourselves to maximise space and inclusions in every home to suit contemporary lifestyles. Inside every Brooksfield home you'll find stone benchtops, tiled bathrooms, low-VOC paints and double glazed windows to name just a few of our premium features. It's all part of our commitment to creating beautiful and sustainable homes that exceed people's expectations without costing the earth.

Recently completed development at 24 Hendon Street



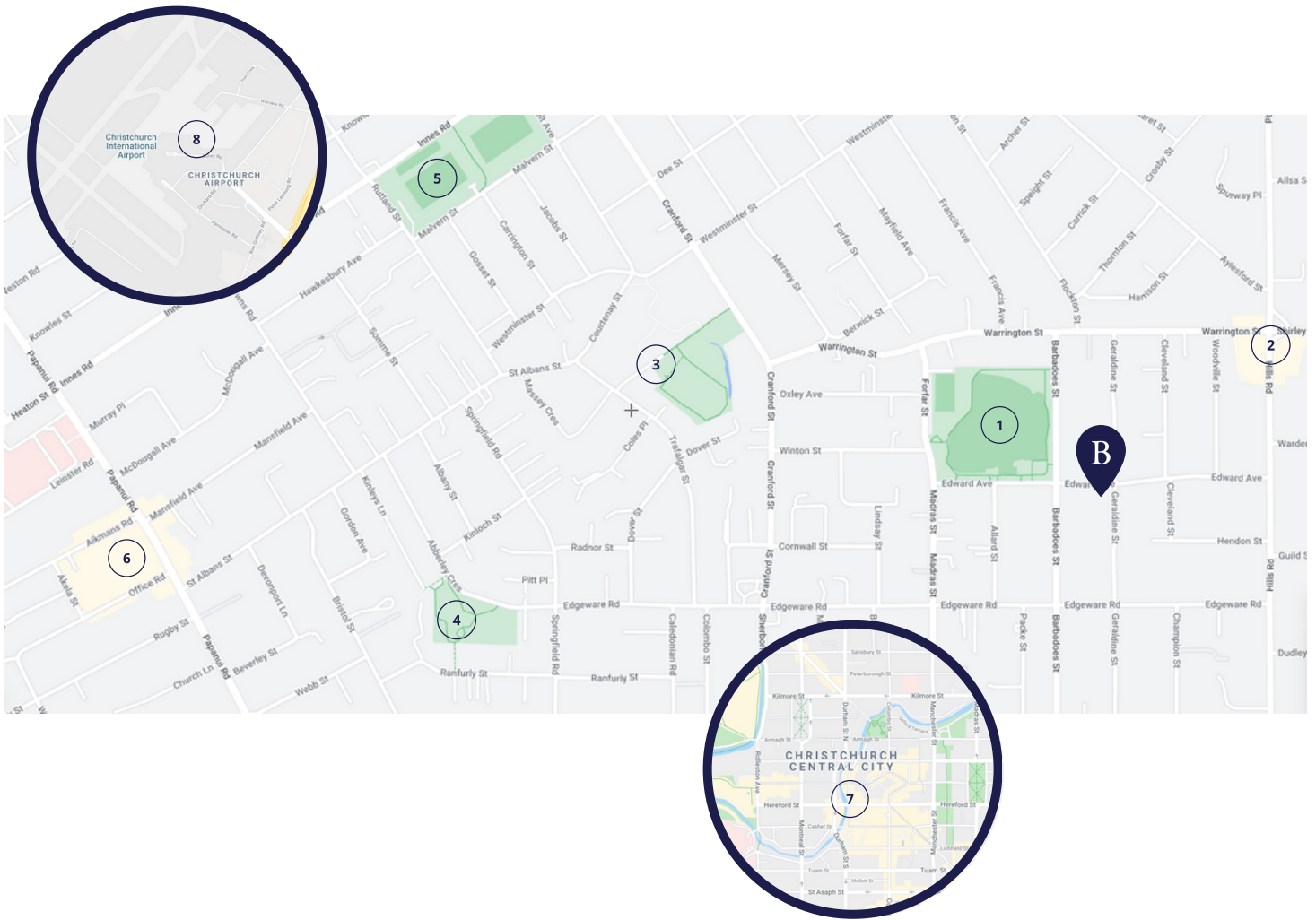
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LOCATION

193 Geraldine Street

These Brookfield cottages are located in the popular suburb of St Albans, on the doorstep of the city centre and just a stones throw from many local amenities, schools, parks and public transport links. Below are some of our favourite spots close to your next home or investment property.



- 1 St Albans Park - 50m
- 2 Edgware Village - 850m
- 3 St Albans School - 1km
- 4 Abberley Park - 1.3km
- 5 Malvern Park - 1.5km
- 6 Merivale Mall - 2.3km
- 7 Christchurch Central City - 2.8km
- 8 Christchurch International Airport - 11km (20min)

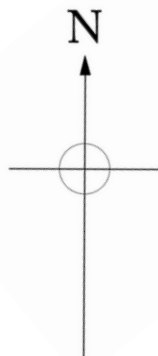
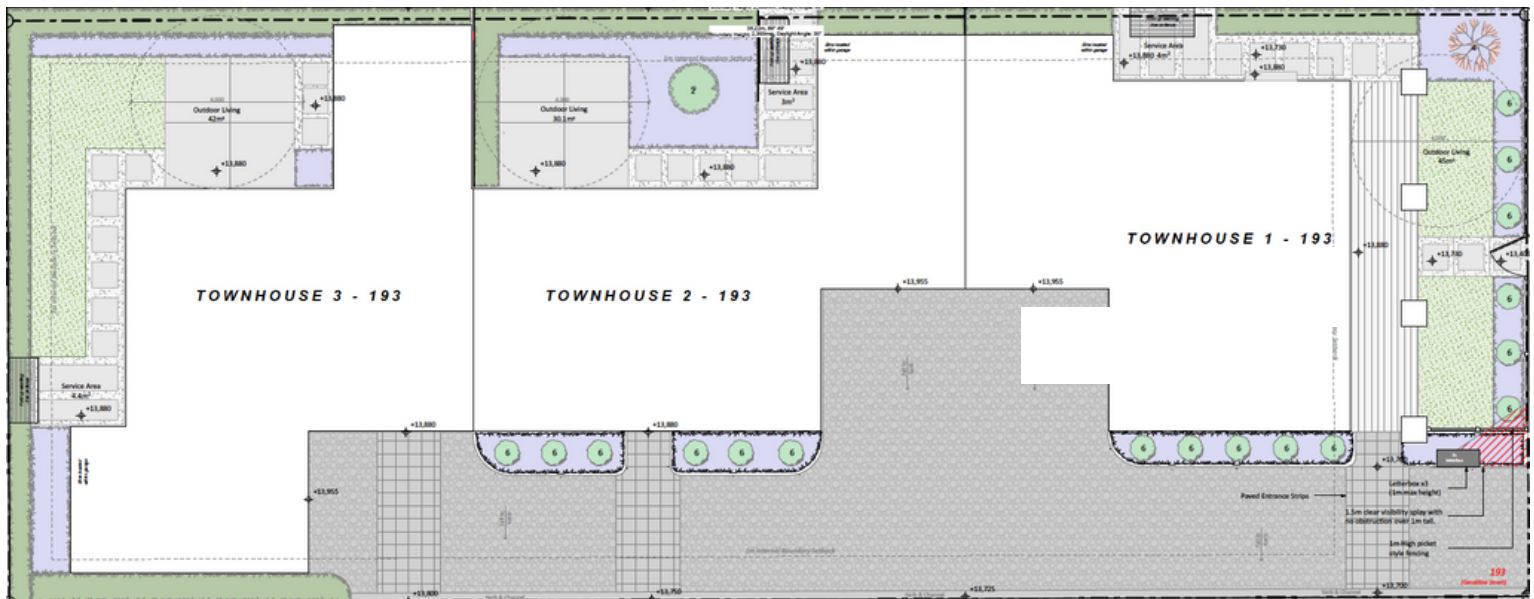
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LAYOUT

193 Geraldine Street

These 3 cottages are thoughtfully laid out and designed with ample space. Each home features an excellent outdoor living area and single garage. These homes come with established planting that includes native flora to attract birds and enhance street appeal.

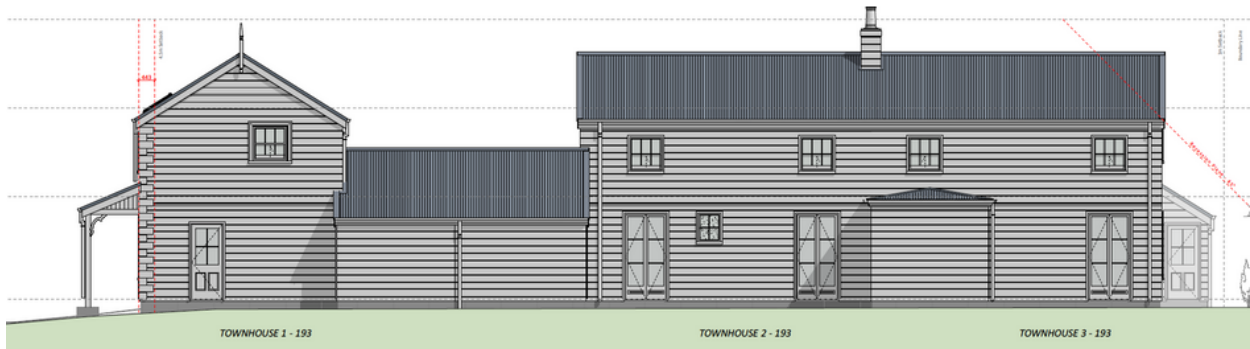


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ELEVATIONS

193 Geraldine Street



North Elevation



East Elevation



South Elevation



West Elevation

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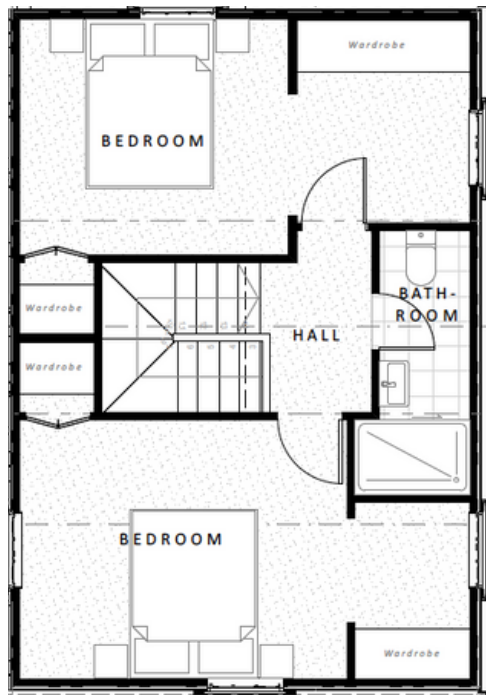
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FLOOR PLAN - HOME 1

193 Geraldine Street



Ground Floor



First Floor

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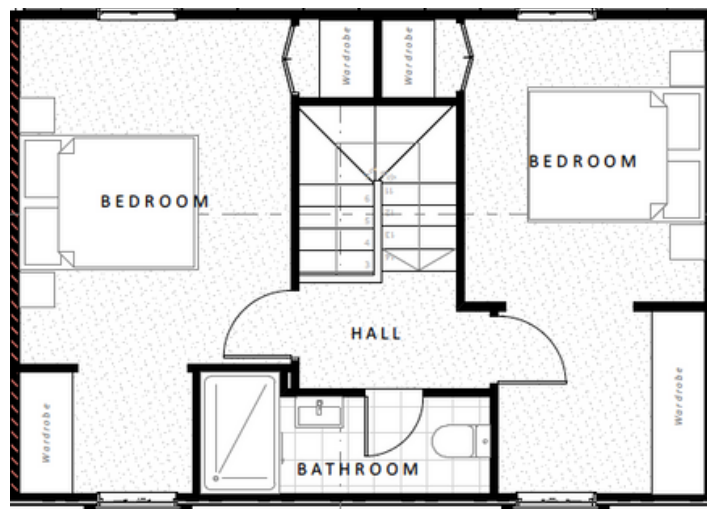
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FLOOR PLANS - HOME 2

193 Geraldine Street



Ground Floor



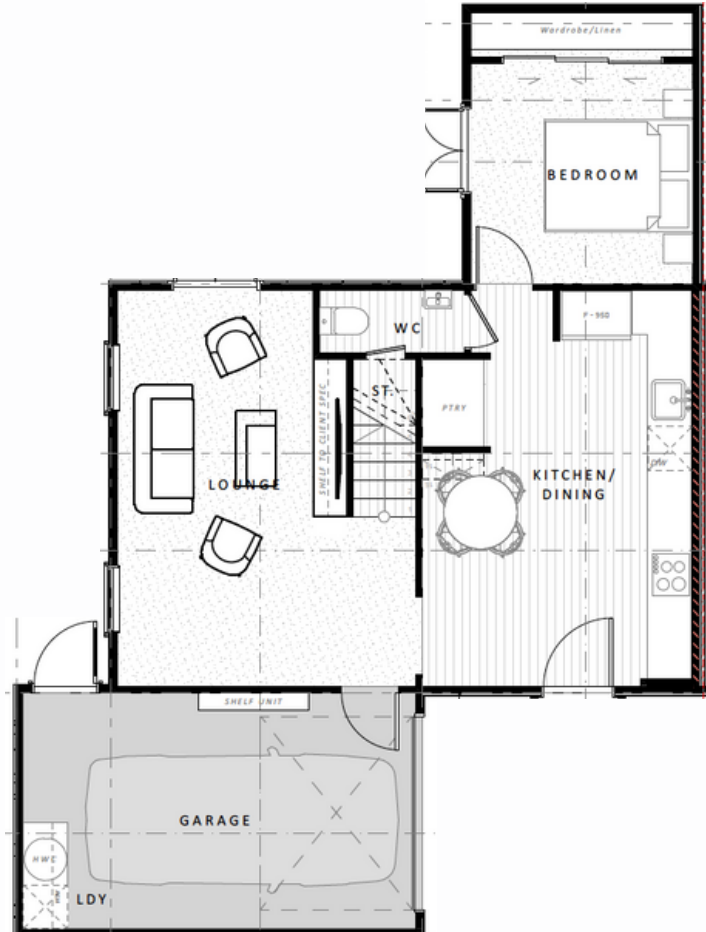
First Floor

BROOKSFIELD

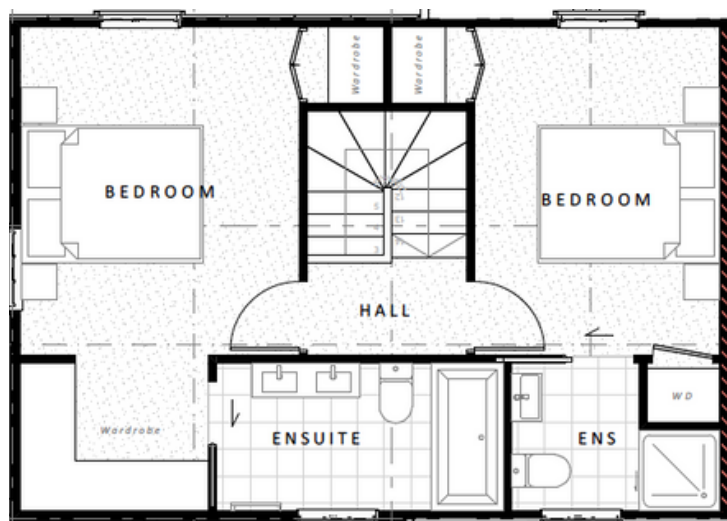
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FLOOR PLAN - HOME 3

193 Geraldine Street



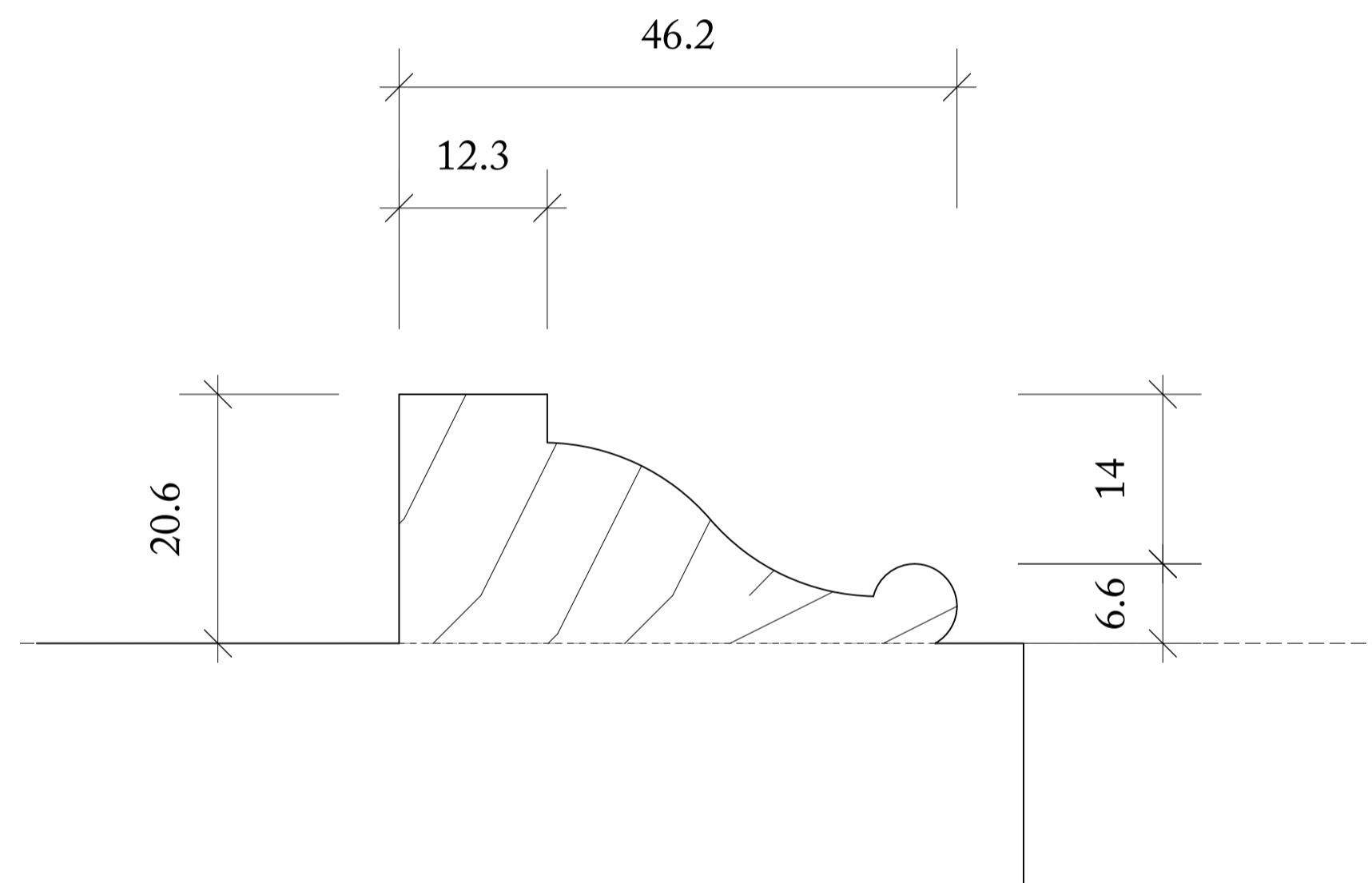
Ground Floor



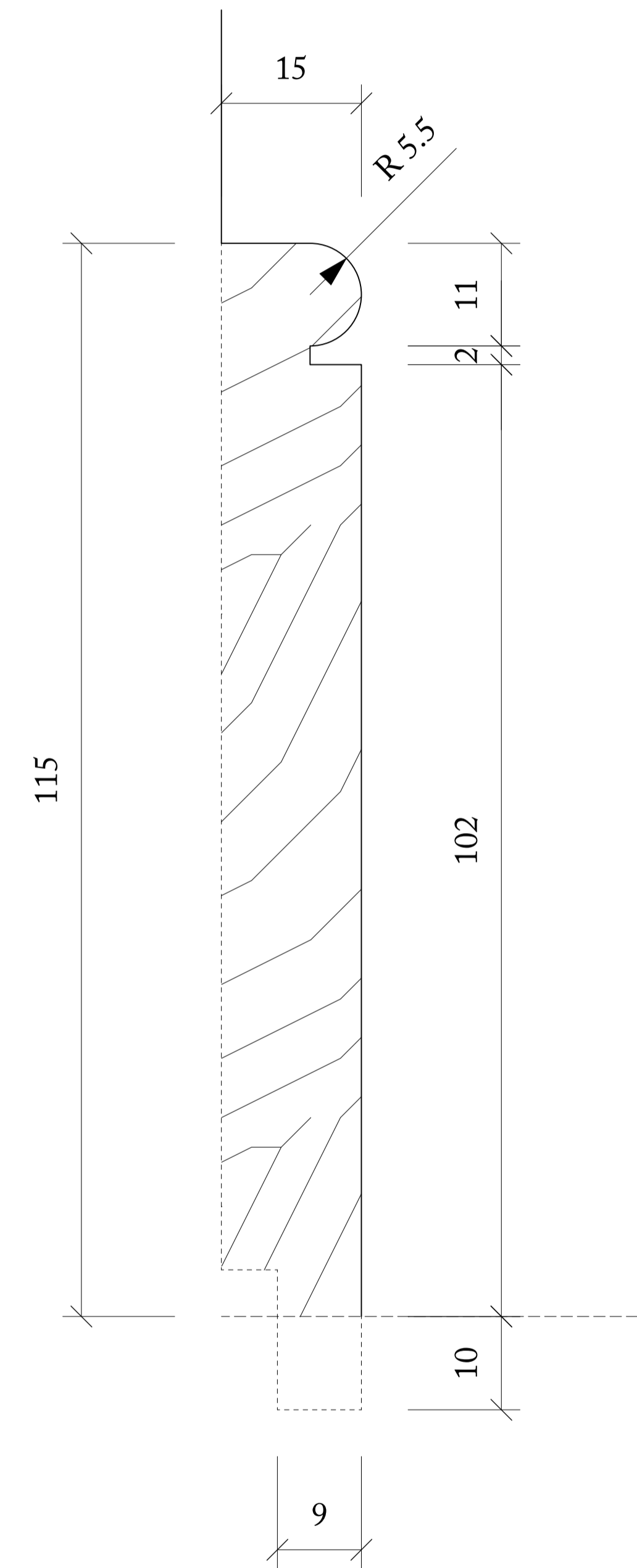
First Floor

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1 ARCHITRAVE
1:1 @ A3

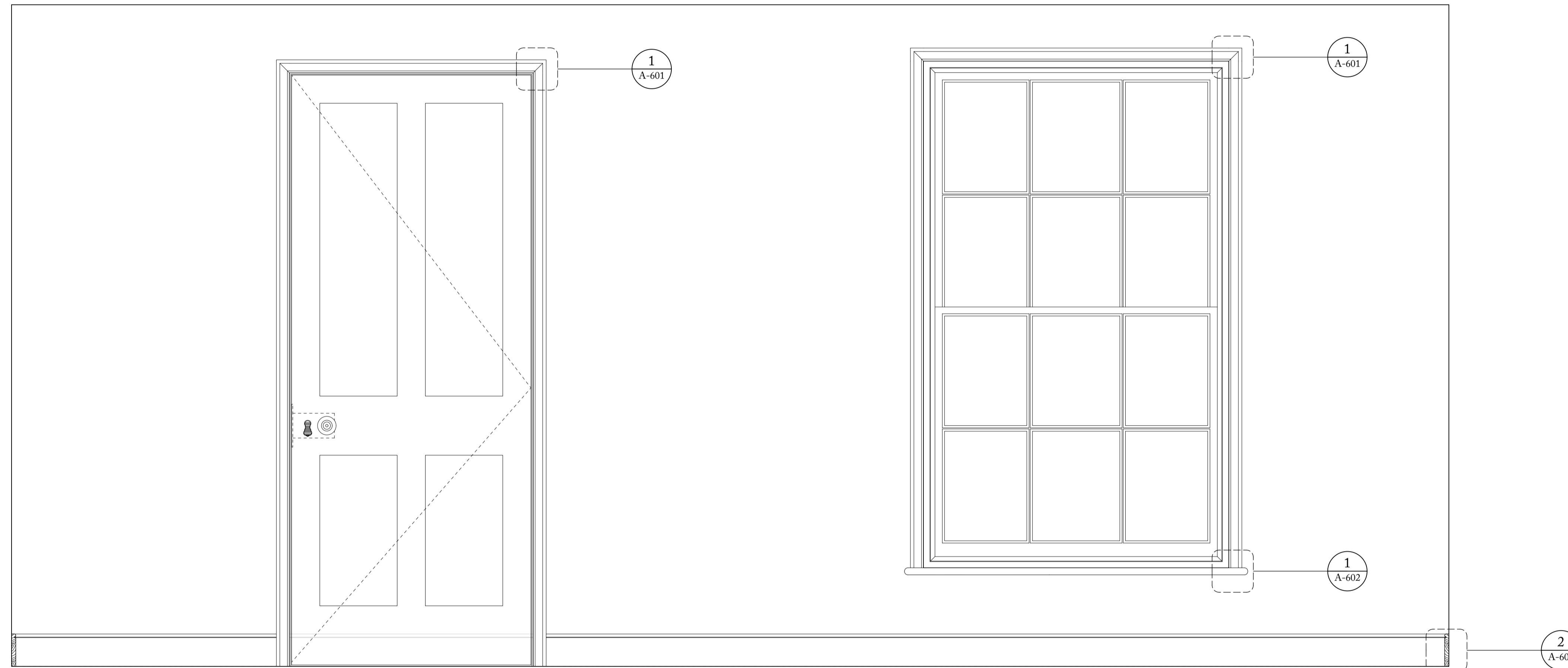


2 SKIRTING
1:1 @ A3

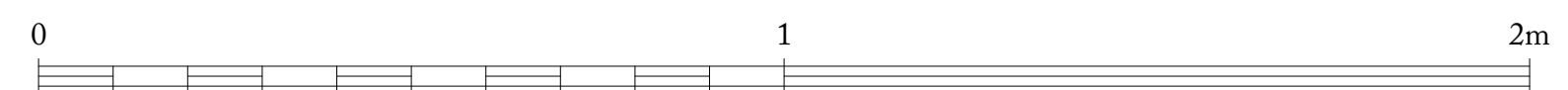
Skirting and Architrave Profile



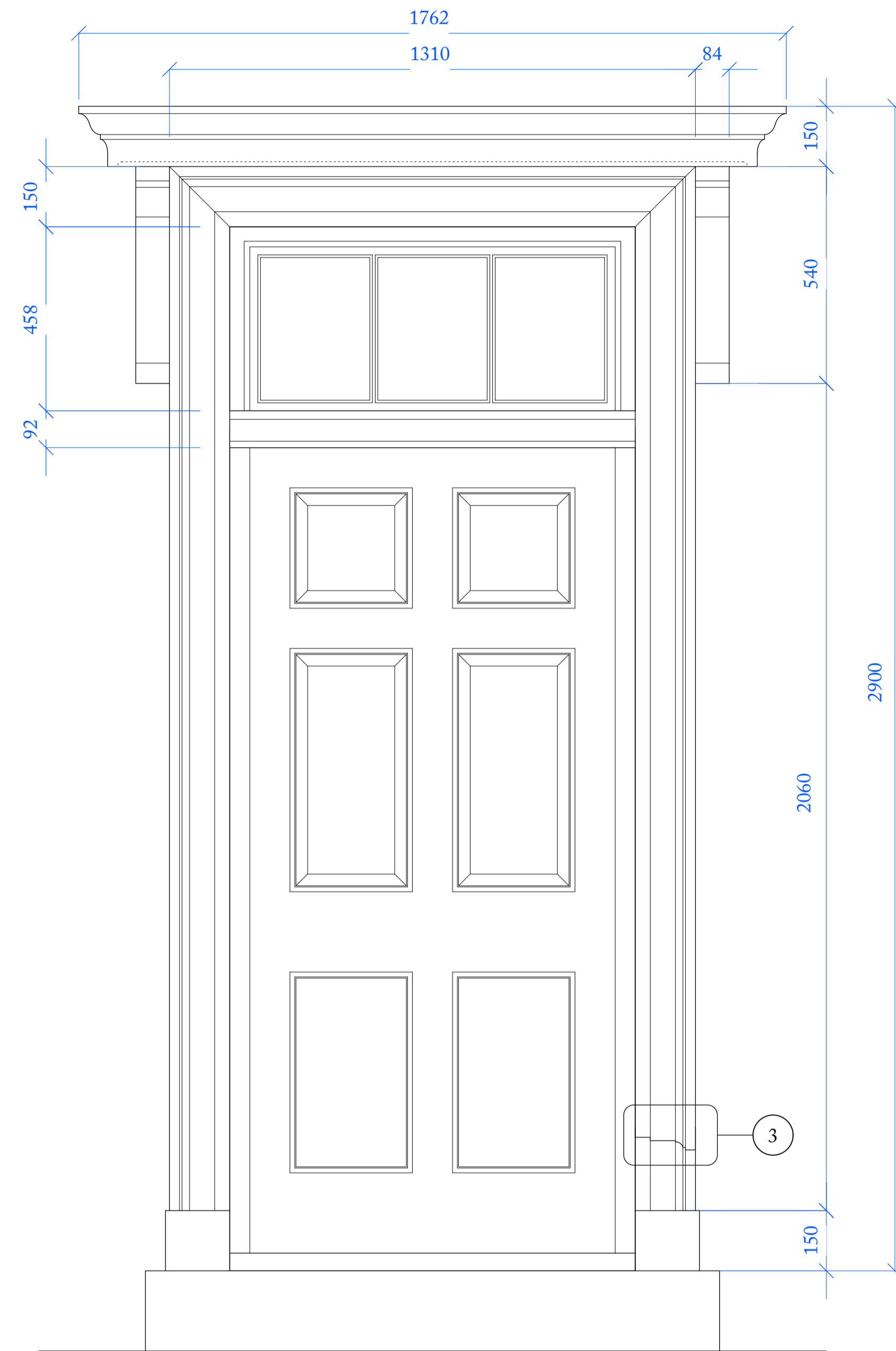
Ben Pentreath		1-4 Lamp Office Court Lambis Conduit Street London WC1N 3NF T +44 (0) 20 7430 2424 benpentreath.com	
PROJECT: BROOKSFIELD			
TITLE: STANDARD PROFILES TYPE B			
DRAWING NO: A-601	REV. NO: -		
SCALE: N/A 1:1 @ A3	DRAWN BY: RH		
DATE: 27.04.23	CHECKED BY: RI		
All dimensions to be checked on site. All designs © Ben Pentreath Ltd 2022. Not to be reproduced without permission			



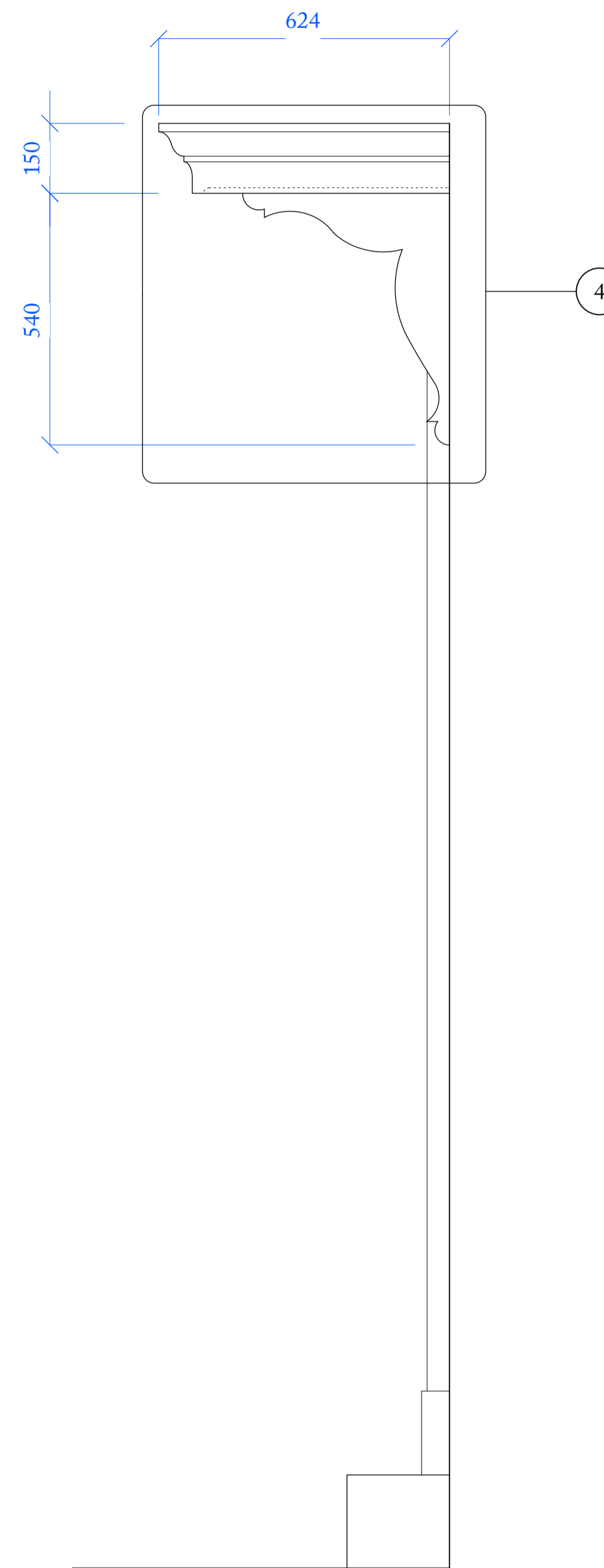
Skirting and Architrave Profile



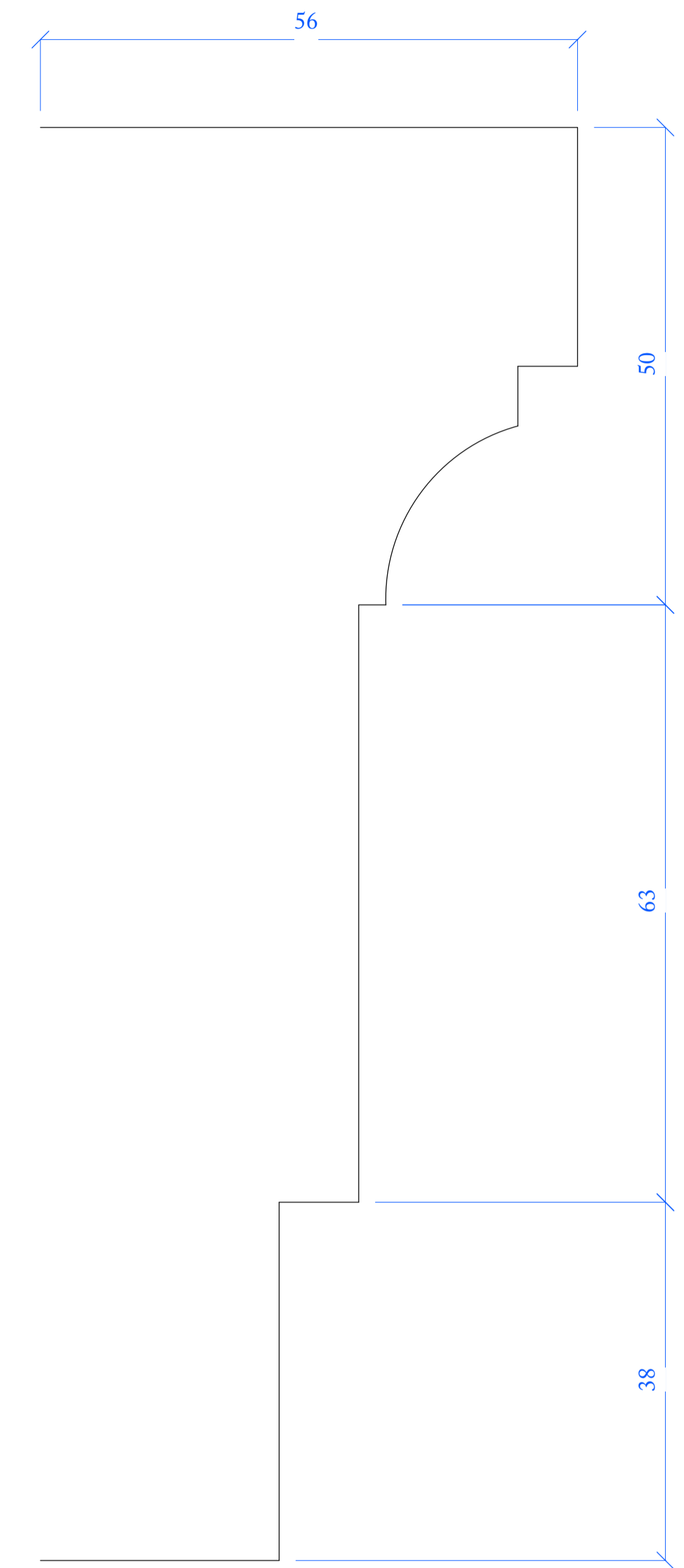
Ben Pentreath		1-4 Lamp Office: Court Lambis Conduit Street London WC1N 3NF T +44 (0) 20 7430 2424 benpentreath.com	
PROJECT: BROOKSFIELD			
TITLE: STANDARD PROFILES TYPE B ELEVATION			
DRAWING NO: A-301	REV. NO: -		
SCALE: 1:10 @ A1 1:20 @ A3	DRAWN BY: RH		
DATE: 27.04.23	CHECKED BY: RI		
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1 ELEVATION
1:10 @ A1 / 1:20 @ A3

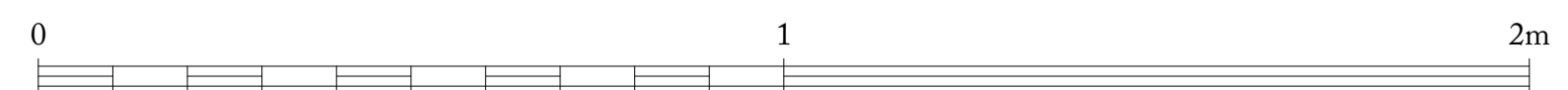


2 SIDE ELEVATION
1:10 @ A1 / 1:20 @ A3



3 MOULDING DETAIL
1:1 @ A3

Door Casing



Ben Pentreath		3 Lamp Office Court Lambs Conduit Street London WC1N 3NF T +44 (0) 20 7430 2424 benpentreath.com	
PROJECT:			
TITLE: DOORCASE DETAILS			
DRAWING NO: -		REV. NO: -	
SCALE: 1:10 @ A1 1:20 @ A3		DRAWN BY: RH	
DATE: 06.10.22		CHECKED BY: BP	
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DESIGN

Brookfield Heritage

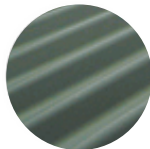
These homes are the latest in our series of 'Cottage Revival' homes. Each cottage features well thought out spaces. All of our interiors feature a modern and neutral palette allowing you to add your own personal flair and unique touches with ease. At Brookfield we believe in using quality and sustainable materials so all of our homes come with low-VOC paint, tiled flooring, wool carpets and wool insulation as standard.

COLOURS AND SPECIFICATIONS

Exterior



Cladding - Weatherboard
Colour: Resene Half
Colonial White



Longrun Roofing
Colour:
Permanent Green



Yale Keyless Entry

Interior



Walls - Resene Half
Parchment
Low-VOC Paint



Skirtings, Ceilings & Doors -
Quarter Merino
Low-VOC Paint



Bathroom Wall Tile



Entrance Floor Tile



Carpet - 100% NZ Wool



Bathroom Floor - Tile



Kitchen Cabinets - French
Country White



Kitchen Bench - Stone -
Coronet Peak



Splashback - Subway Tiles



Roller Blinds in Living Areas



Venetian Blinds - White -
Bedrooms



Wool Insulation

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PLUMBING AND ELECTRICAL

Plumbing



Kitchen Mixer - Chrome



Bathroom To Floor Vanity - English Classic 700mm Vanity



Toilets - Argent Krona



Chrome Shower Mixer



Downstairs W/C Vanity



Chrome Showerhead & Rail



Bathroom Tapware



Toilet Roll Holder

Electrical



Heated Towel Rail - 400x600 Elan 20R



Round Mirror With Demist Heater Behind



Downlights - LED Switch



Plugs - Iconic Switchgear



Outdoor Lights



Bathroom Heater - Serene 2068

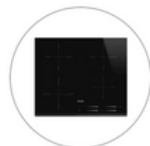
APPLIANCES



Oven - Smeg Single Wall Oven



Rangehood - Applico Canopy Rangehood



Cook Top - Smeg 4 Zone Induction Cooktop



Dishwasher - Fisher & Paykel Single Dishwasher



Heat Pump - Fujitsu - KW dependant on size to meet tenancy regulations

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PRICE LIST

193 Geraldine Street

HOUSE NUMBER	BEDROOMS	BATHROOMS	GARAGES	SIZE	PRICE
House 1	2	1.5	1	108m2	\$699,000
House 2	2	1.5	1	108m2	\$695,000
House 3	2	1.5	1	110m2	\$699,000

Estimated start

Estimated completion

Title type

August 2023

March 2024

Fee Simple

All homes are sold as a turn-key package. Everything will be completed prior to handover including window furnishings and landscaping.

BUYING WITH US

Brooksfield

- 1 Contact us to speak with a sales consultant about our homes and select your preferred unit.
- 2 Sign a conditional agreement for your selected property and send to your lawyer to review.
- 3 Complete your due diligence and once you are happy to confirm, pay the required deposit. Our team are here to help you with any questions that you may have during this time.
- 4 Sit back and relax while we build your brand new home.

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