

# 36 Hargest Crescent, Sydenham, Christchurch

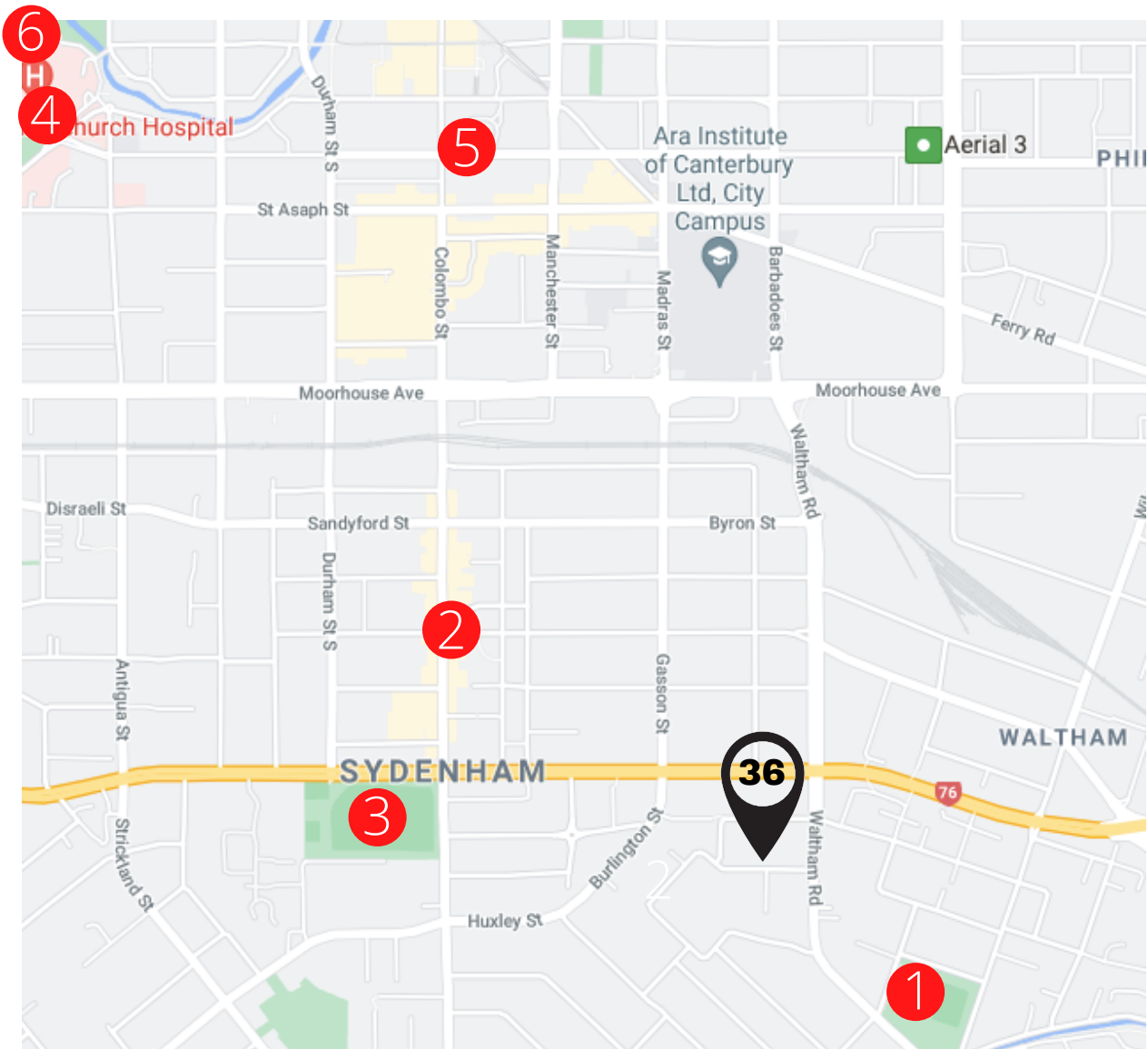
Brooksfield Modern



BROOKSFIELD

# Location

These 4 Brookfield Modern homes are located in the increasingly popular suburb of Sydenham. This location always proves popular with a small and easy commute to the inner city. Below are some of our favourite spots close to your next Home or Investment Property.



1 Waltham Park (500 m)

4 Christchurch Hospital (3 km)

2 The Colombo (1.1 km)

5 City Centre (2.2 km)

3 Sydenham Park (1 km)

6 International Airport (12 km)

## BROOKSFIELD

# Layout

These 4 Brookfield Modern homes are a unique new design allowing for large outdoor living spaces and well landscaped gardens. The landscaping includes feature Cherry and Magnolia Trees with a conifer tree lined driveway.






## PLANT LEGEND



# BROOKSFIELD

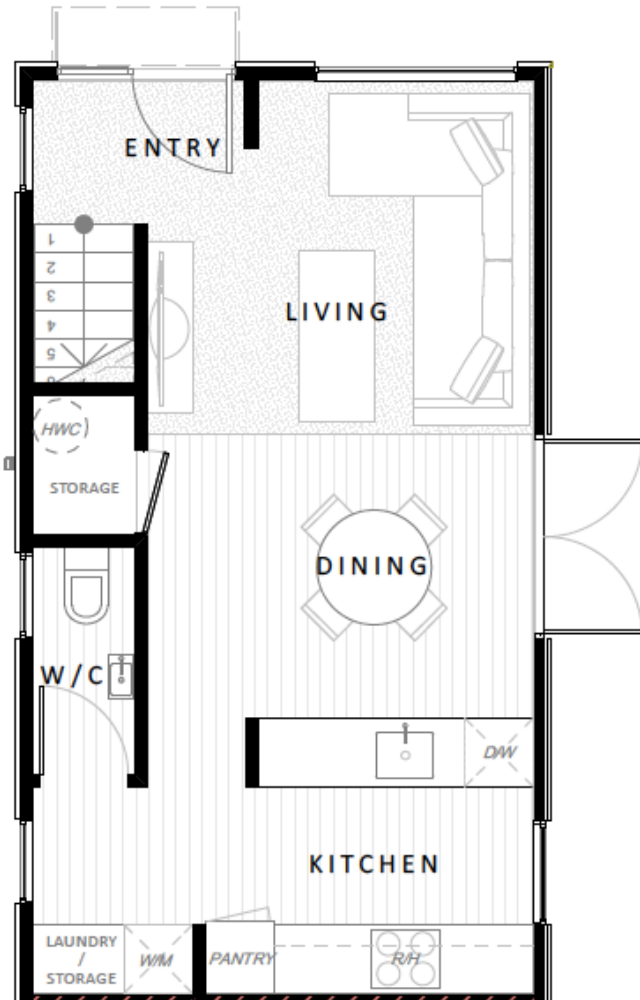
# Design And Interior

Brooksfield are famous for designing the most unique homes in Christchurch. These homes have been laid out with an open plan living, dining and kitchen, with a separate toilet and large storage cupboard downstairs. Upstairs we have two large bedrooms, and a generous bathroom.

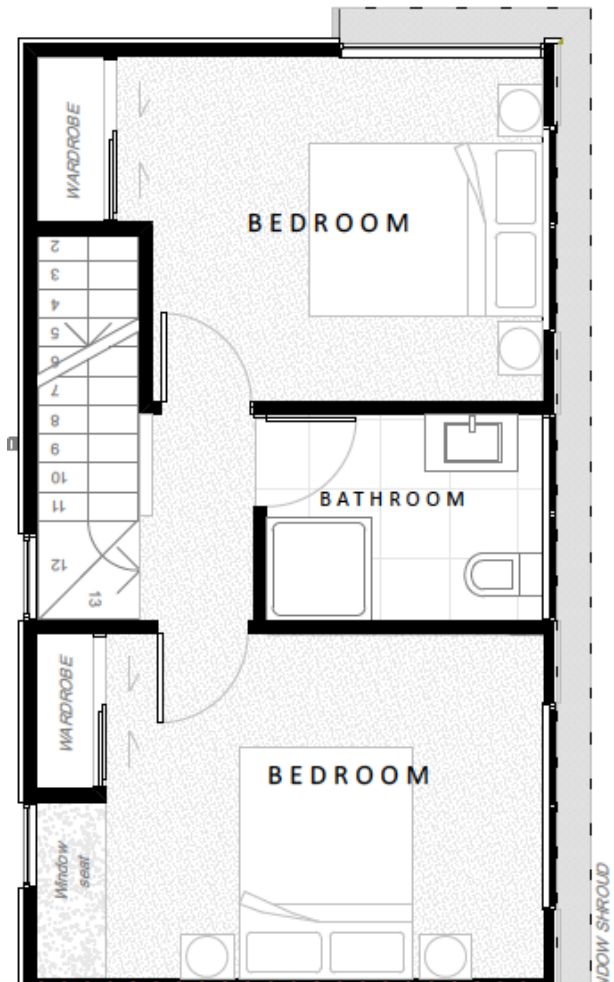
2  1.5  1 

Floor Area m2  
**74**

## Ground Floor



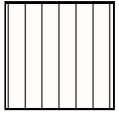
## First Floor



BROOKSFIELD

# Modern Colours & Specifications

## Exterior



Cladding - Eurotray



Doorhandle - Schlage S-6000  
keyless entry



Roof - Longrun roofing

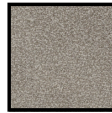


Wool Insulation

## Interior



Walls - Clover Honey, 100%  
natural plant based paint



Carpet - 100% Wool



Skirtings, ceilings & doors-  
Quarter Clover Honey, 100%  
Natural plant based paint



Kitchen Floor - Forest  
Cedar tile planks



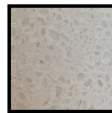
Bathroom Wall Tile -  
Metro Ashgrey Gloss



Kitchen Cabinets - Bestwood  
Ranfurly Oak



Bathroom Floor Tile -  
Metro Ashgrey Matt



Kitchen Bench - Stone -  
Coronet Peak



Roller Blinds - White - to all living  
areas



Splashback - Subway Tiles



Venetian Blinds - White -  
Bedrooms

# Modern Plumbing & Electrical

## Plumbing



Kitchen Mixer - Brusked Nickel  
Mizu Drift 4 Star water rating



Bathroom Vanity - Timber classic  
700mm vanity



Toilets - Nova BTW



Shower mixer - Mizu Drift



Downstairs W/C vanity



Showerhead & rail - Posh  
Domaine Brass Rail Shower



Bathroom mixers - Mizu Drift  
4 star water rating



toilet roll holder



Robe Hooks - Bathroom



Glass shower tray on tiles

## Electrical



Heated towel rail - 400x600  
Elan 20R



Mirror - round mirror with  
demist heater behind



Downlights - LED Switch downlight



Plugs - Iconic Switchgear



Outdoor lights - Modern up/down



Bathroom heater - Serene  
2068 heater

# Appliances



Oven - Smeg Single Wall Oven



Rangehood - Applico Canopy Rangehood



Cook Top - Smeg 4 Zone Induction Cooktop



Dishwasher - Smeg Freestanding Dishwasher



Heat Pump - Fujitsu - KW dependant on size to meet tanancy act



Laundry Tub - Extra Thick Steel Tub & Cabinet

# BROOKSFIELD

– PROPERTY MANAGEMENT –



Rental Assessment - 36 Hargest Cres, Sydenham

10th August 2021



Modern Fixtures & Appliances  
Neutral Colours  
Landscaping  
Set Out Over 2 levels

Thank you for the opportunity to provide a rental assessment on the property situated at 36 Hargest Cres

After viewing the information supplied including photos, and research into current listings available, and recently rented, along with recent statistics, I believe a fair market rent would be between \$470- \$490 unfurnished, for a long-term rental.

Please don't hesitate to make contact if you have any questions about the rent appraisal

Thanks

Sue Banks  
Senior Property Manager  
Ph: 021 257 7882

Email: [sue@brooksfeld.co.nz](mailto:sue@brooksfeld.co.nz)

DISCLAIMER: Please be advised that all rental estimates are based on the information provided at the time of the assessment, and take current market rent into consideration. Brookfield Property Management gives no guarantee as to the amount of rent that will be achieved. The market is the final arbiter.



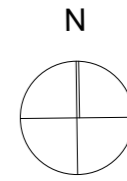
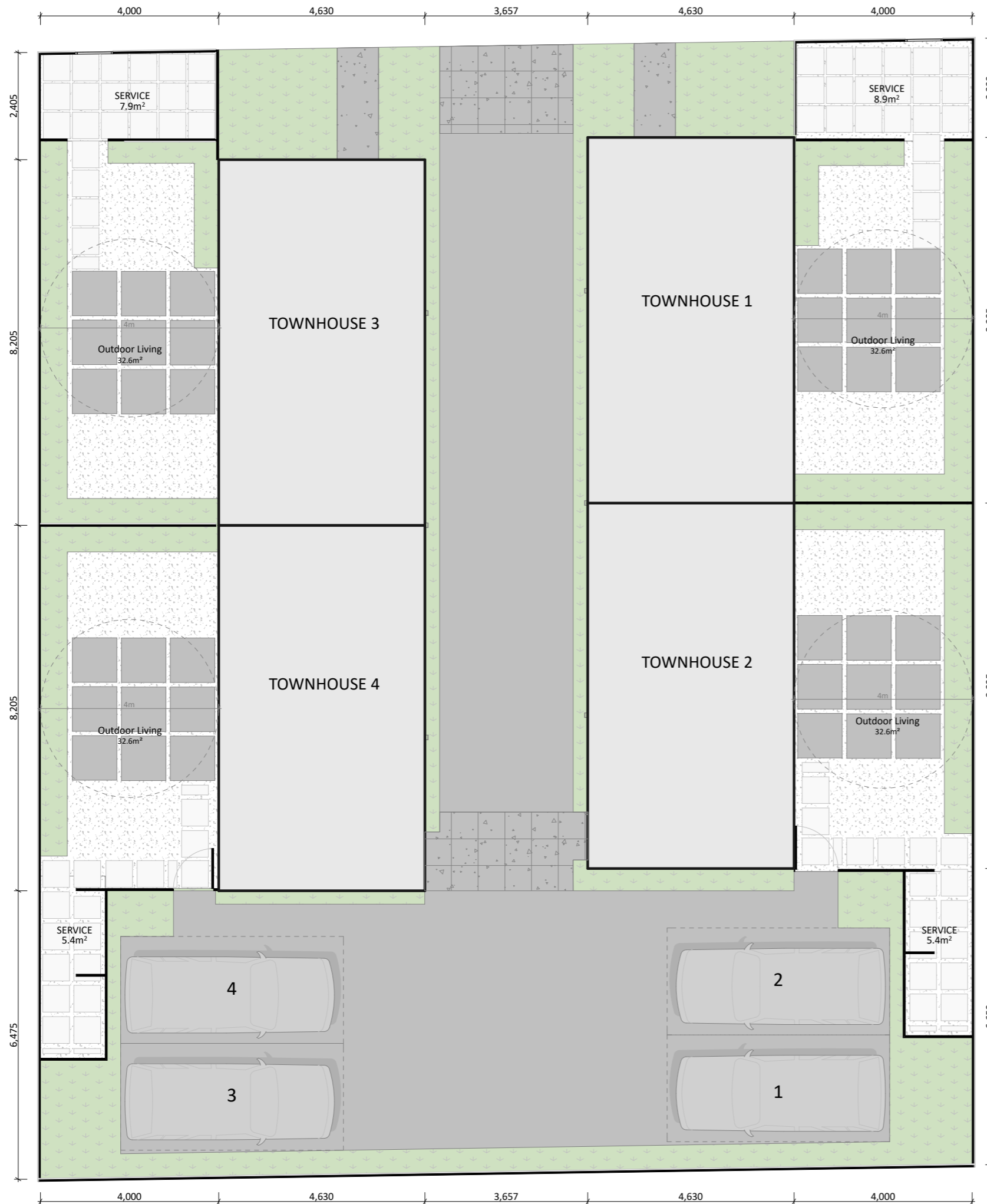
**SHEET INDEX**

A000	PROJECT INTRODUCTION
A001	SITE PLAN
A002	SITE BOUNDARY PLAN
A003	LANDSCAPING PLAN
A100	GROUND FLOOR PLANS
A101	FIRST FLOOR PLANS
A200	ELEVATIONS
A201	ELEVATIONS
A300	3D IMAGES



**BROOKSFIELD**  
— TOWNHOUSES —

**H a r g e s t C r e s e n t T o w n h o u s e s**  
3 6 H a r g e s t C r e s c e n t , S y d e n h a m , C h r i s t c h u r c h



**PROJECT INFO:**

Address: 36 Hargest Crescent  
Sydenham  
Christchurch

Legal Description: Pt RS 235  
Title: CB31K/817 & CB528/5

Site Area: 529m² (more or less)  
Building Area: 148.8m² (148.8m² overslab)  
Site Coverage: 28.1%

Planning Zone: Residential Medium Density (RMD)  
Natural Hazards: Medium Liquefaction Vulnerability

Wind Zone: Low  
Earthquake Zone: 2  
Exposure Zone: C  
Sea Spray Zone: No  
Climate Zone: 3  
Land Zone: TC3

**SITE PLAN LEGEND**

- Boundary Line
- Boundary setback as per CCC District Plan
- BUILDINGS / PROPOSED BUILDINGS
- Driveway / Paved Area  
Plain sponge finish concrete, 200mm cut board with black tint seal, 100mm slab with SE62 reinforcing on AP40 Grade engineering fill compacted in 150mm layers  
- 1:100min falls as shown, typically away from dwelling  
- finish to have slip resistance to comply with NZBC D1/AS1
- Vegetation  
Refer to Landscape Design for further detail.

**BROOKSFIELD**  
— TOWNHOUSES —

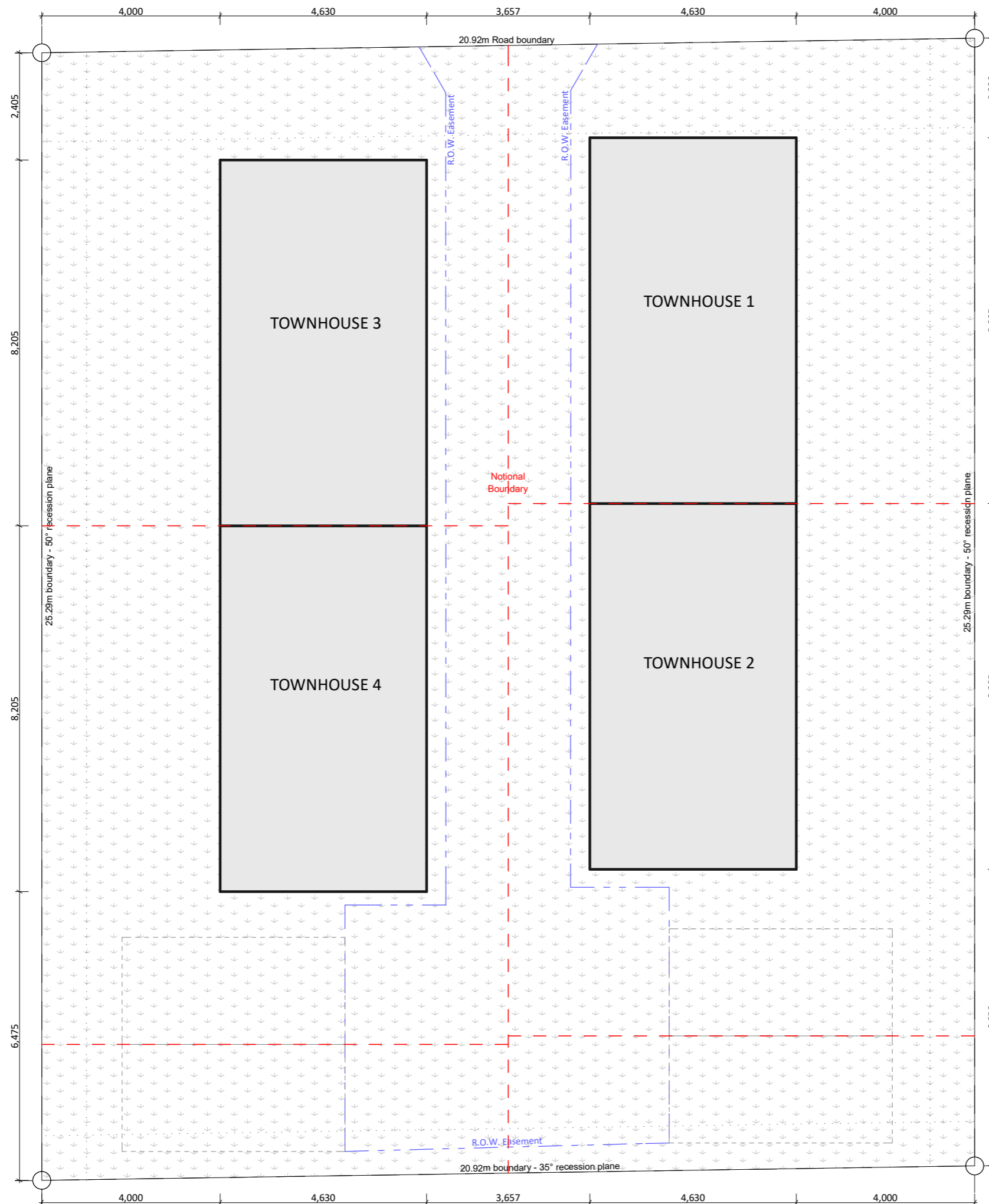
PROJECT NAME  
Hargest Crescent Townhouses

PROJECT ADDRESS  
36 Hargest Crescent  
Sydenham  
Christchurch

DRAWING NO. REVISION  
**A001** **A**

DRAWING NO.  
**SITE PLAN**

**0. SITE PLAN**  
SCALE 1:100



**SITE BOUNDARY PLAN LEGEND**

- - - Property/Notional Boundary Line
- R.O.W Easement
- Vegetation/Landscaping

**Surveyor to confirm property areas and boundary lines at time of subdivision consent.**

**TOWNHOUSE 1:**

Ground Floor Area: 37.2m<sup>2</sup>  
 First Floor Area: 36.1m<sup>2</sup>  
 Total Floor Area: 73.3m<sup>2</sup>

Property Area: 109.3m<sup>2</sup>  
 Carpark/Shared: 30.5m<sup>2</sup>

**TOWNHOUSE 2:**

Ground Floor Area: 37.2m<sup>2</sup>  
 First Floor Area: 36.1m<sup>2</sup>  
 Total Floor Area: 73.3m<sup>2</sup>

Property Area: 89.5m<sup>2</sup>  
 Carpark/Services: 35.9m<sup>2</sup>

**TOWNHOUSE 3:**

Ground Floor Area: 37.2m<sup>2</sup>  
 First Floor Area: 36.1m<sup>2</sup>  
 Total Floor Area: 73.3m<sup>2</sup>

Property Area: 107.6m<sup>2</sup>  
 Carpark/Shared: 30.5m<sup>2</sup>

**TOWNHOUSE 4:**

Ground Floor Area: 37.2m<sup>2</sup>  
 First Floor Area: 36.1m<sup>2</sup>  
 Total Floor Area: 73.3m<sup>2</sup>

Property Area: 89.5m<sup>2</sup>  
 Carpark/Services: 35.9m<sup>2</sup>

**0. SITE BOUNDARY PLAN**  
 SCALE 1:100

**BROOKSFIELD**  
 — TOWNHOUSES —

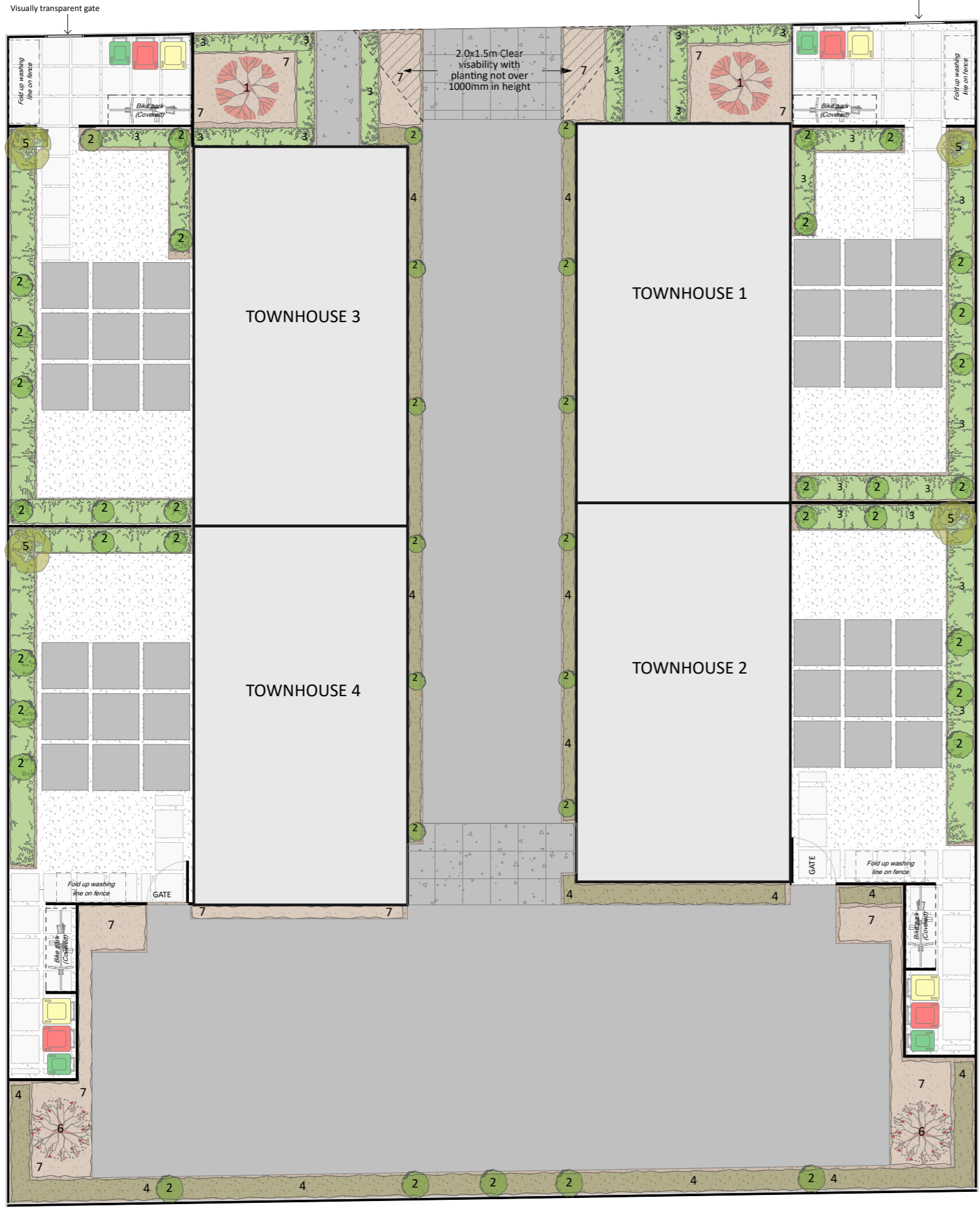
PROJECT NAME  
 Hargest Crescent Townhouses

PROJECT ADDRESS  
 36 Hargest Crescent  
 Sydenham  
 Christchurch










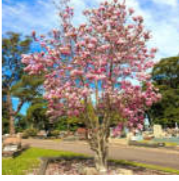




DRAWING NO. REVISION

**A002** **A**

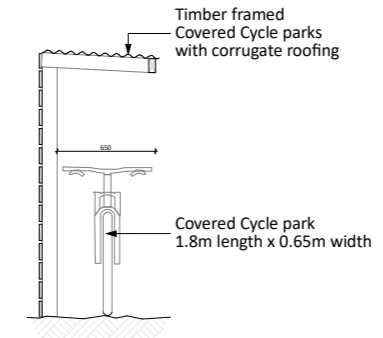
DRAWING NO.  
**SITE BOUNDARY PLAN**







**PLANT LEGEND**

			
TYPE 1 - CHERRY BLOSSOM TREE "Prunus Accolade"	TYPE 2 - CONIFER "Thuja occidentalis 'Pyramidalis'"	TYPE 3 - GRISELINIA LITTORALIS HEDGE "Broadway Mint"	TYPE 4 - CHERRY LAUREL "Prunus laurocerasus"
			
			
TYPE 5 - COMMON LIME TREE "Tilia x europaea"	TYPE 6 - MAGNOLIA TREE "Magnolia campbellii"	TYPE 7 - NATIVE GROUND COVER MIX Tractor seat, Mondo grass, Jasmine, etc.	
			

**LANDSCAPING LEGEND**



**COVERED CYCLE PARKING**  
SCALE 1:50

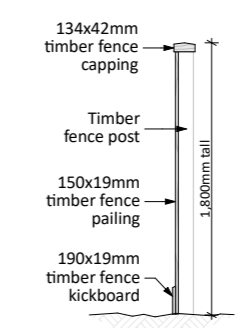
-  Planting area  
- native grasses planted, 1 / m2 approx to suit  
- medium bark chip finished
-  Lime Chip Area  
- White lime chip finished
-  Paver  
- 600x600 concrete pavers
-  Patio  
- Cut concrete patio

Notes:  
- All Trees to be 1.5m (min) height at time of planting  
- Planting beds to be medium bark chip finished  
- Landscaping areas to be 50% trees, 50% shrubs  
- For planting refer to **Plant Legend**

**LETTERBOX**



-4x Box Design letterbox on front boundary fence with Street number and unit lettering



**FENCE DETAIL**  
SCALE 1:50

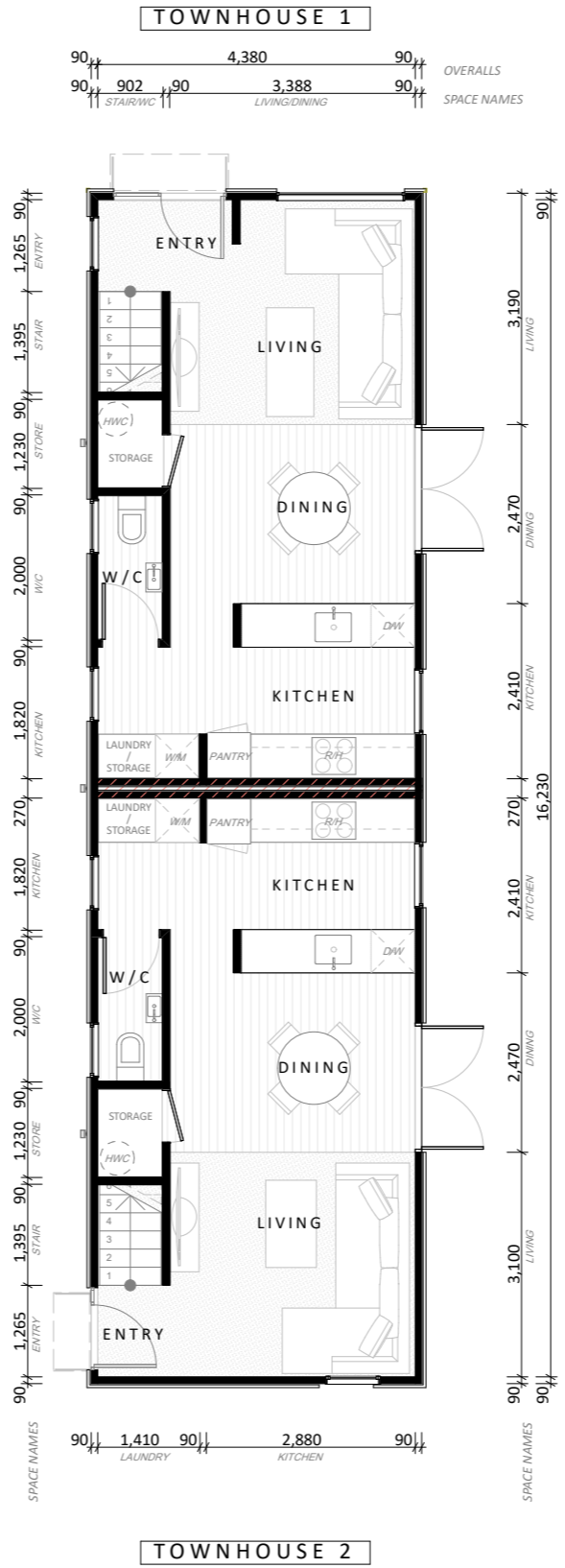
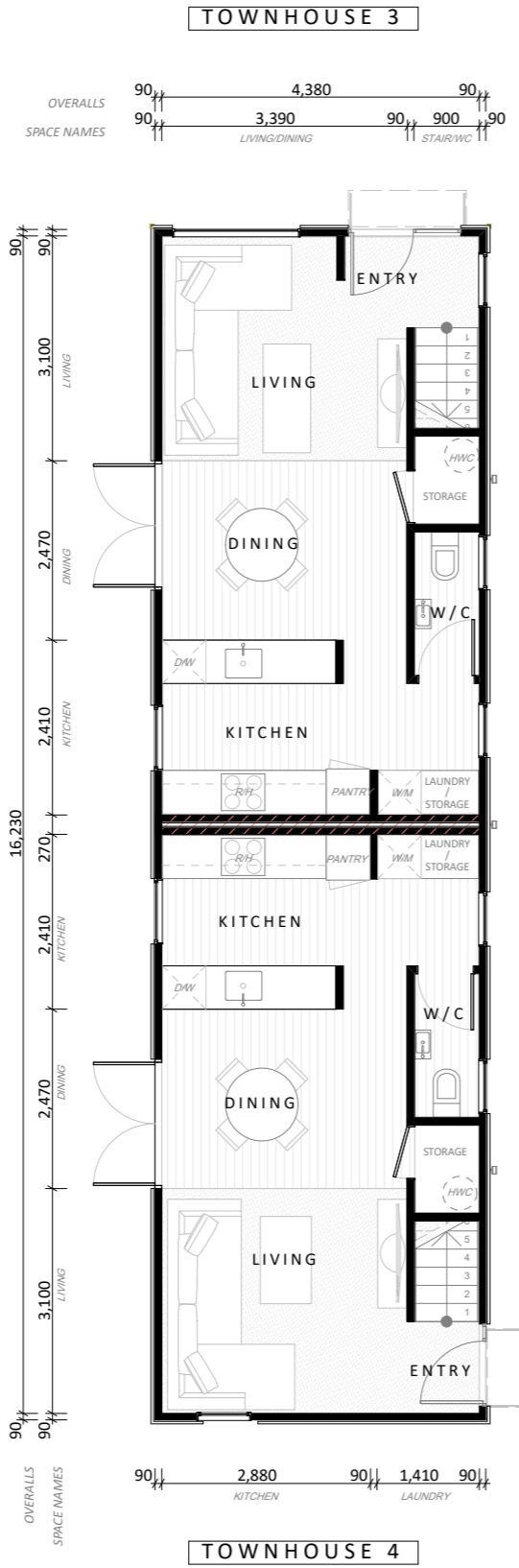
**BROOKSFIELD**  
TOWNHOUSES

PROJECT NAME  
Hargest Cresnet Townhouses

PROJECT ADDRESS  
36 Hargest Crescent  
Sydenham  
Christchurch

DRAWING NO. A003 REVISION A

DRAWING NO.  
**LANDSCAPING PLAN**



- LEGEND - WALLS**
- 90mm Timber Framed wall (external wall)  
 - 10mm GIB Board internal lining  
 - 20mm drained cavity  
 - Architectural Roofing Company TARC snap-lock cladding
  - 90mm Timber Framed wall (external wall)  
 - 10mm GIB Board internal lining  
 - 20mm drained cavity  
 - 10mm Fibre Cement Sheet
  - 90mm Timber Framed wall (internal wall)  
 - 10mm GIB Board internal lining both sides

- GENERAL NOTES:**
- All entries and exits to be in accordance with NZBC D1/AS1.
  - Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/table 2.
  - Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 table 2 and also to be in accordance with NZBC E3 - Internal Moisture.
  - Kitchen bench top to comply with NZBC G3/AS1.
  - Refer to Door and Window schedules for lintel sizes.
  - Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood. refer nzbc g4/as1 1.3.c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.
  - Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F1/AS1 with hush facility (3.0m radius)
  - All exposed fixings to be stainless steel
  - Contractor to install all new plumbing fixtures and appliances to manufacturers specifications.
  - Contractor to furnish and install all hardware unless noted otherwise.
  - Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall scone and accessory locations.

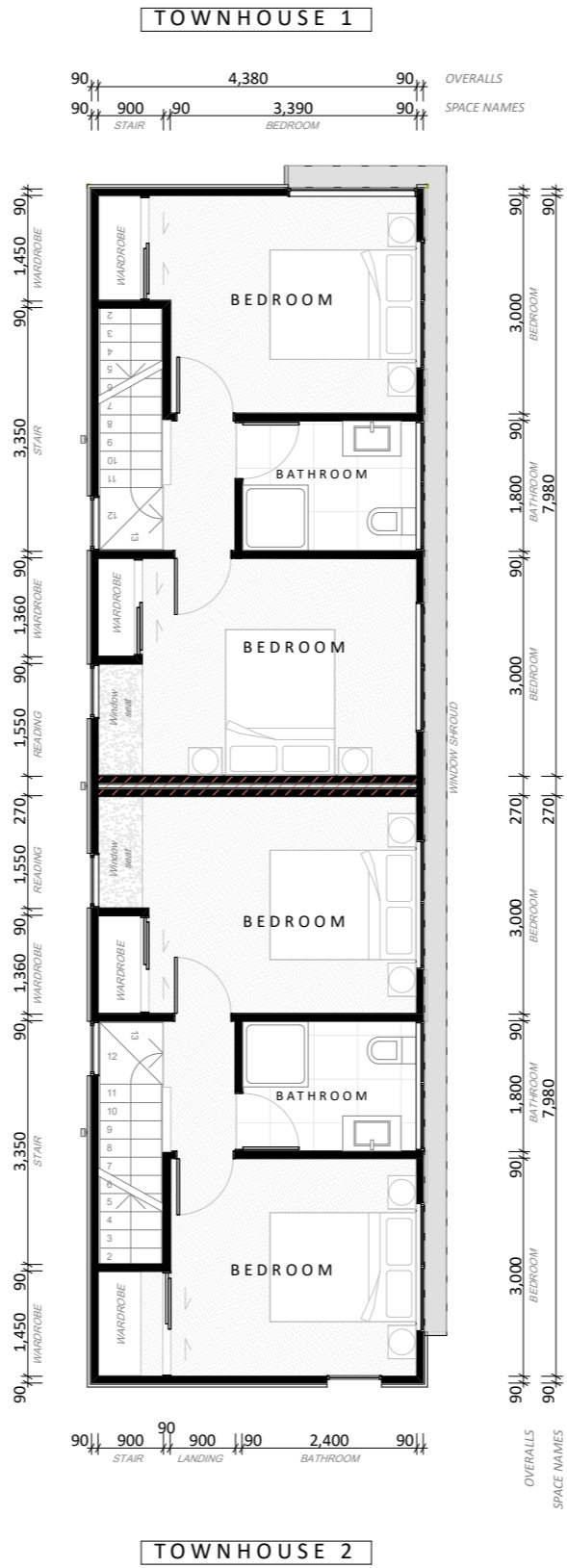
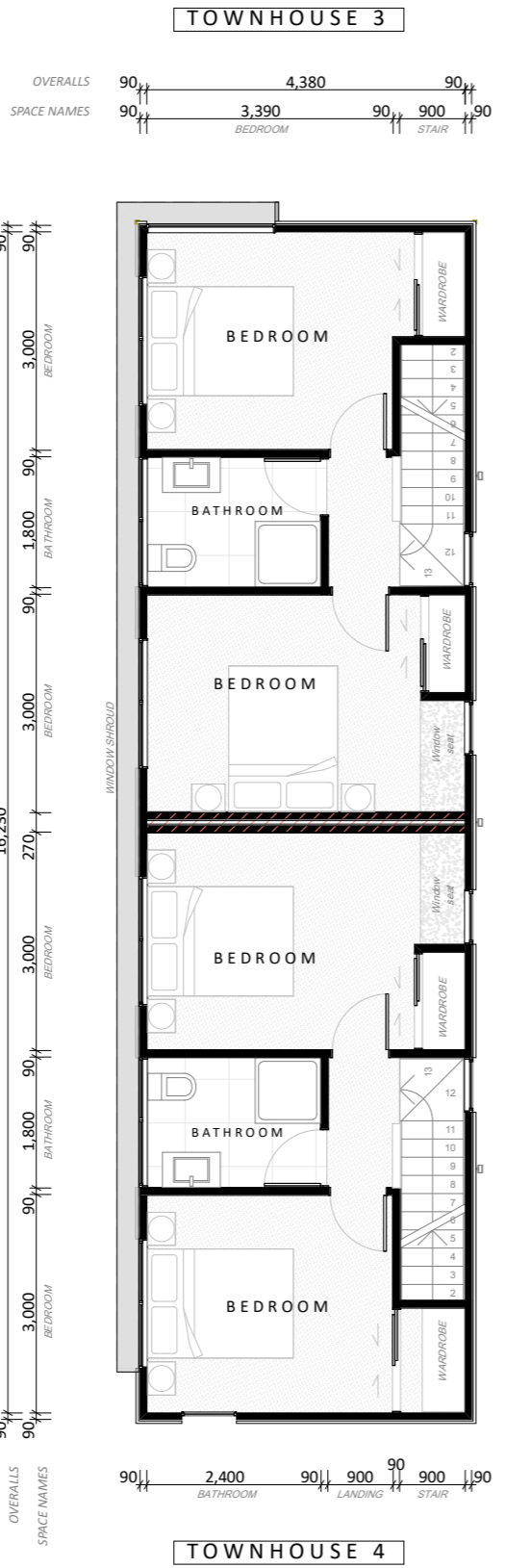
**BROOKSFIELD**  
 — TOWNHOUSES —

PROJECT NAME  
 Hargest Crescent Townhouses

PROJECT ADDRESS  
 36 Hargest Crescent  
 Sydenham  
 Christchurch

DRAWING NO.                      REVISION  
**A100**                              **A**

DRAWING NO.  
**GROUND FLOOR PLANS**



- LEGEND - WALLS**
-  90mm Timber Framed wall (external wall)  
 - 10mm GIB Board internal lining  
 - 20mm drained cavity  
 - Architectural Roofing Company TARC snap-lock cladding
  -  90mm Timber Framed wall (external wall)  
 - 10mm GIB Board internal lining  
 - 20mm drained cavity  
 - 10mm Fibre Cement Sheet
  -  90mm Timber Framed wall (internal wall)  
 - 10mm GIB Board internal lining both sides

- GENERAL NOTES:**
- All entries and exits to be in accordance with NZBC D1/AS1.
  - Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/table 2.
  - Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 table 2 and also to be in accordance with NZBC E3 - Internal Moisture.
  - Kitchen bench top to comply with NZBC G3/AS1.
  - Refer to Door and Window schedules for lintel sizes.
  - Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood. refer nzbc g4/as1 1.3.c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.
  - Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F1/AS1 with hush facility (3.0m radius)
  - All exposed fixings to be stainless steel
  - Contractor to install all new plumbing fixtures and appliances to manufacturers specifications.
  - Contractor to furnish and install all hardware unless noted otherwise.
  - Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall sconce and accessory locations.

**BROOKSFIELD**  
 TOWNHOUSES





PROJECT NAME  
 Hargest Crescent Townhouses

PROJECT ADDRESS  
 36 Hargest Crescent  
 Sydenham  
 Christchurch

DRAWING NO. <b>A101</b>	REVISION <b>A</b>
DRAWING NO. <b>FIRST FLOOR PLANS</b>	



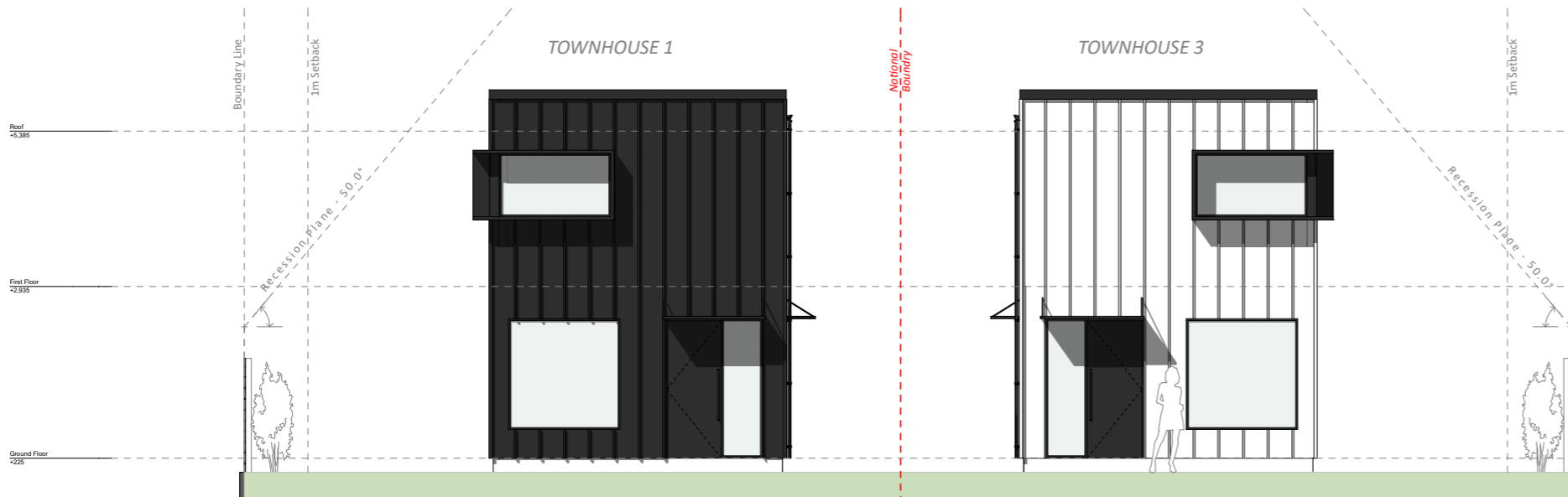
**E05 STREET ELVATION**  
SCALE 1:100

- LEGEND**
-  **Roof**  
- Diamond Corrugate Colorsteel Endura roof cladding over Thermokraft Covertex roof underlay  
- Colour to be selected by Brooksfield Living.
  -  **Vertical TARC Snap-lock**  
- Architectural Roofing Company TARC snap-lock cladding. 375-400mm width to align ribs.  
- Colour to be selected by Brooksfield Living
  -  **Fibre Cement Panel**  
- 10mm Fibre Cement Panel  
- Colour to be selected by Brooksfield Living
  -  **Permanently Obscured Glass**  
- As required by Christchurch District Plan 14.4.2.8

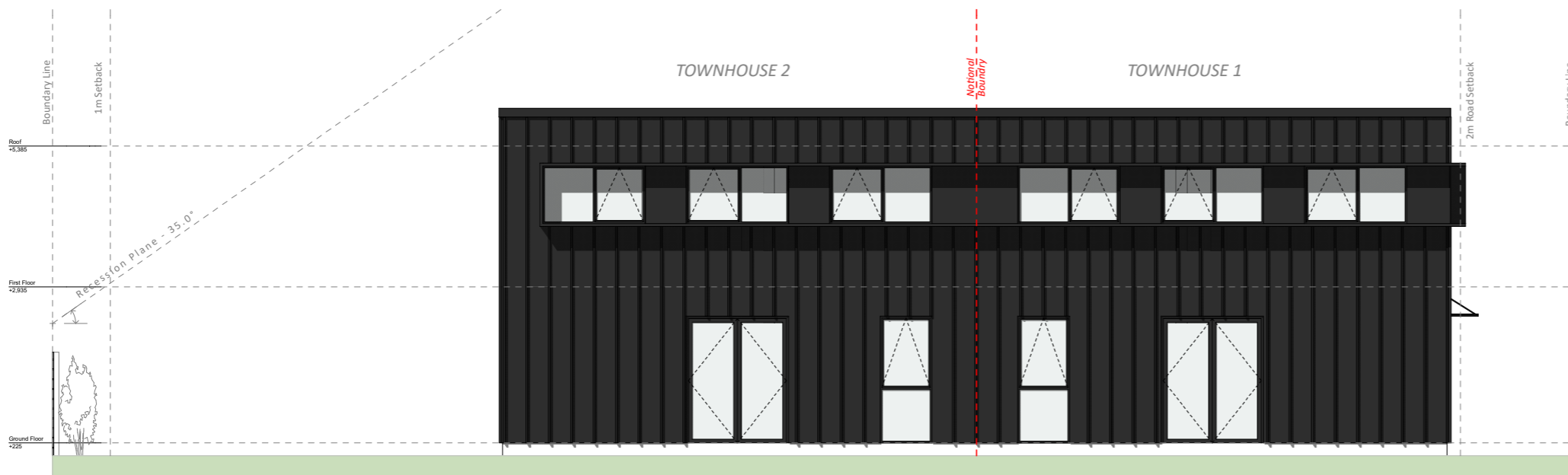
Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan

Downpipes to be 80Ø, finish & colour to match roofing (UNO)

APL powder coated aluminium exterior windows and doors in selected finish  
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1



**E01 NORTH ELEVATION**  
SCALE 1:100



**E02 TOWNHOUSE 1 & 2 EAST ELEVATION (TH 3 & 4 MIRRORED)**  
SCALE 1:100

**BROOKSFIELD**  
— TOWNHOUSES —

PROJECT NAME  
Hargest Crescent Townhouses

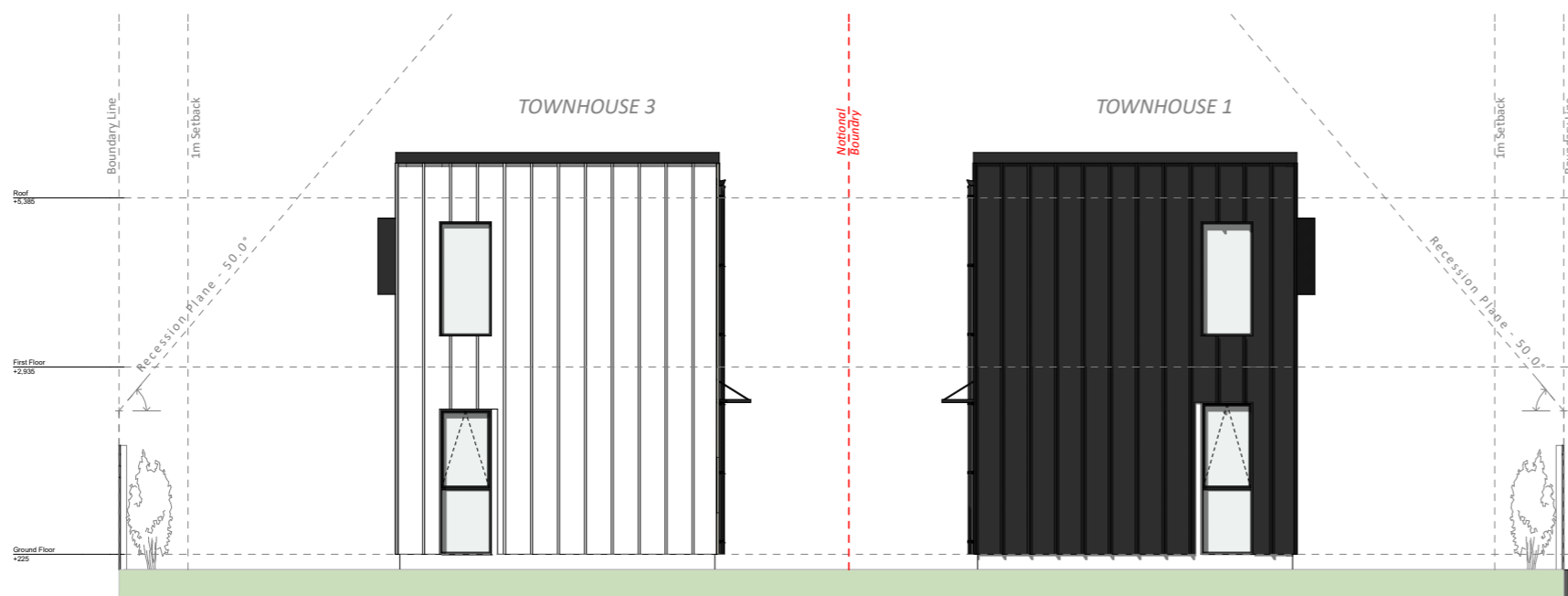
PROJECT ADDRESS  
36 Hargest Crescent  
Sydenham  
Christchurch

DRAWING NO. REVISION





**A200** **A**

DRAWING NO.  
**ELEVATIONS**

HARGEST  
CRESCENT



**E03 SOUTH ELEVATION**  
SCALE 1:100

- LEGEND**
-  **Roof**  
- Dimond Corrugate Colorsteel Endura roof cladding over Thermokraft Covertex roof underlay  
- Colour to be selected by Brooksfield Living.
  -  **Vertical TARC Snap-lock**  
- Architectural Roofing Company TARC snap-lock cladding. 375-400mm width to align ribs.  
- Colour to be selected by Brooksfield Living
  -  **Fibre Cement Panel**  
- 10mm Fibre Cement Panel  
- Colour to be selected by Brooksfield Living
  -  **Permanently Obscured Glass**  
- As required by Christchurch District Plan 14.4.2.8
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- APL powder coated aluminium exterior windows and doors in selected finish  
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1



**E04 TOWNHOUSE 1 & 2 WEST ELEVATION (TH 3 & 4 MIRRORED)**  
SCALE 1:100

HARGEST CRESCENT

**BROOKSFIELD**  
— TOWNHOUSES —

PROJECT NAME  
Hargest Crescent Townhouses

PROJECT ADDRESS  
36 Hargest Crescent  
Sydenham  
Christchurch

DRAWING NO.                      REVISION  
**A201**                                      **A**

DRAWING NO.  
**ELEVATIONS**





Street View 1 - Render



Street View 2 - Render



Street View 3 - Render

---

# BROOKSFIELD

— TOWNHOUSES —

---

PROJECT NAME  
Hargest Cresnet Townhouses

PROJECT ADDRESS  
36 Hargest Crescent  
Sydenham  
Christchurch

DRAWING NO. REVISION

**A300** **A**

DRAWING NO.  
**3D IMAGES**

---

# Price List

House	Bedrooms	Bathrooms	Carparks	House Size	Price
House 1	2	1.5	1 Carpark	74m2	\$635,000.00
House 2	2	1.5	1 Carpark	74m2	\$635,000.00
House 3	2	1.5	1 Carpark	74m2	\$635,000.00
House 4	2	1.5	1 Carpark	74m2	\$635,000.00

Expected Start

August 2021

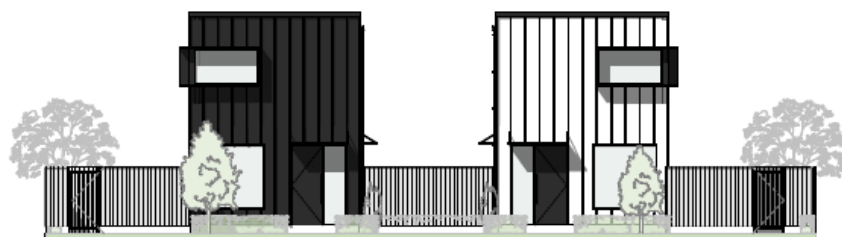
Expected Completion

March 2022

Title Type

Fee Simple

All prices include a full turnkey property, meaning it includes everything ready to move into on settlement.



# BROOKSFIELD