

# 44 WINTON STREET

St Albans, Christchurch

---

Four 'Cottage Revival' Homes



# BROOKSFIELD

0800 548 454 | [brooksfield.co.nz](https://www.brooksfield.co.nz)

# ABOUT US

Brooksfield

---

Established in 2019, Brooksfield began property development with a simple goal - create unique homes for people to love where they live. We do not use a 'cookie cutter' design as each one of our developments is tailored to the site, suburb, and surroundings. We build Classical and Georgian, buildings and homes, as well as cottages.

Over the past few years, we have fine-tuned our builds and are constantly looking for ways that we can better our designs to include the latest in design trends, durability and affordability.

**We're filling Christchurch with homes and buildings our grandkids can point at in 100 years and say "Grandad and his friend built these pretty buildings"**

- Vincent Holloway, Brooksfield director

## THE BROOKSFIELD DIFFERENCE

---

We believe that your home should bring a sense of pride every time you arrive home. We challenge ourselves to maximise space and inclusions in every home to suit contemporary lifestyles. Inside every Brooksfield home you'll find stone benchtops, tiled bathrooms, low-VOC paints and double glazed windows to name just a few of our premium features. It's all part of our commitment to creating beautiful and sustainable homes that exceed people's expectations without costing the earth.

Recenty completed development at Hastings Street West

---



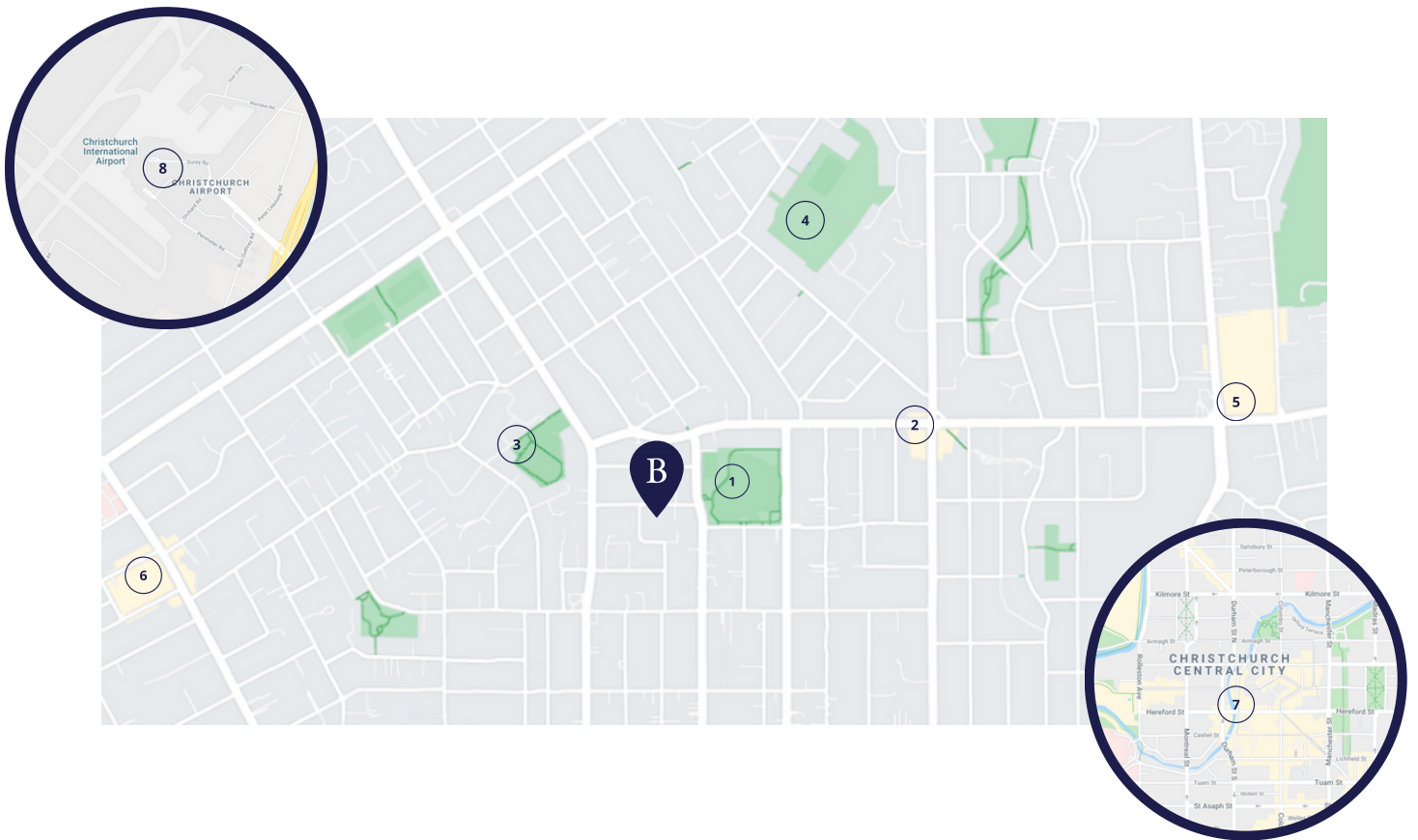
**BROOKSFIELD**

0800 548 454 | [brooksfield.co.nz](http://brooksfield.co.nz)

# LOCATION

44 Winton Street

44 Winton Street is another exceptional display of our late 1800s NZ timber, settler cottages designed in London by renowned Ben Pentreath Architects. These Brookfields cottages are located in the popular suburb of St Albans, on the doorstep of the city centre and just a stone's throw from many local amenities, schools, parks and public transport links. Below are some of our favourite spots close to your next home or investment property.



1 St Albans Park - 350m

2 Hills Road Shopping Centre - 1.2km

3 St Albans School - 1.3km

4 Westminster Park - 1.8km

5 The Palms - 2.1km

6 Merivale Mall - 2.2km

7 Christchurch Central City - 2.8km

8 Christchurch International Airport - 11.2km  
(17min)

**BROOKSFIELD**

0800 548 454 | [brooksfeld.co.nz](http://brooksfeld.co.nz)

# LAYOUT

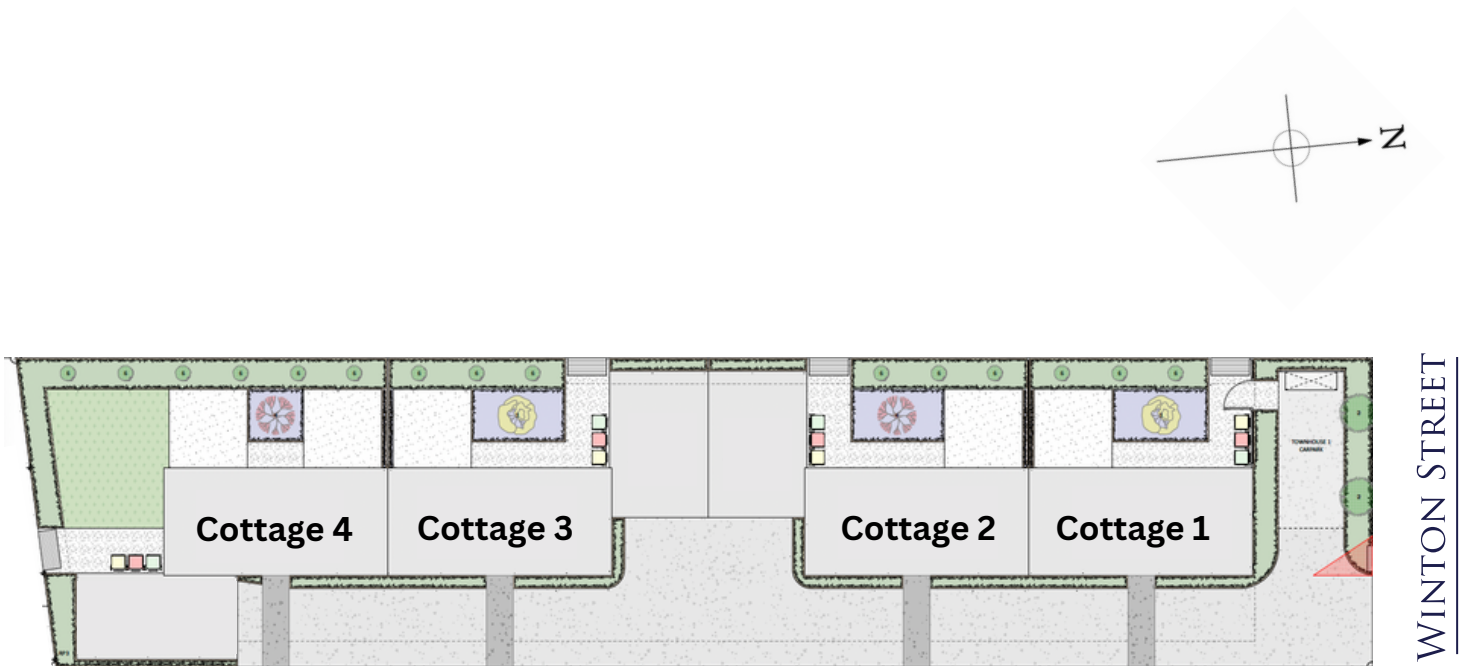
44 Winton Street

---

These four cottages are thoughtfully laid out and designed with ample space and north-facing living areas, well positioned to capture all-day sun. Cottages One to Three feature a 28-square-meter outdoor living area and gardens, while Cottage Four boasts 70 square meters of such. All cottages include either a garage or carpark.

## SITE PLAN

---



BROOKSFIELD

0800 548 454 | [brooksfeld.co.nz](http://brooksfeld.co.nz)

# RENDERS

44 Winton Street

---



STREET ELEVATION

---



DRIVEWAY ELEVATION

---

BROOKSFIELD

0800 548 454 | [brooksfeld.co.nz](http://brooksfeld.co.nz)

# ELEVATIONS

44 Winton Street

---

- Ground Floor Stud Height: 2.7
- First Floor Stud Height: 2.4



## EAST ELEVATION

---



## WEST ELEVATION

---

BROOKSFIELD

0800 548 454 | [brooksfeld.co.nz](http://brooksfeld.co.nz)

# ELEVATIONS

44 Winton Street

---



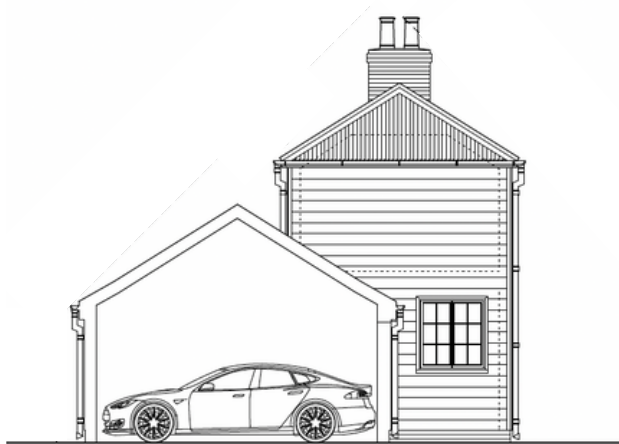
NORTH ELEVATION

---



SOUTH ELEVATION

---



SOUTH ELEVATION (COTTAGE 2)

---



NORTH ELEVATION (COTTAGE 3)

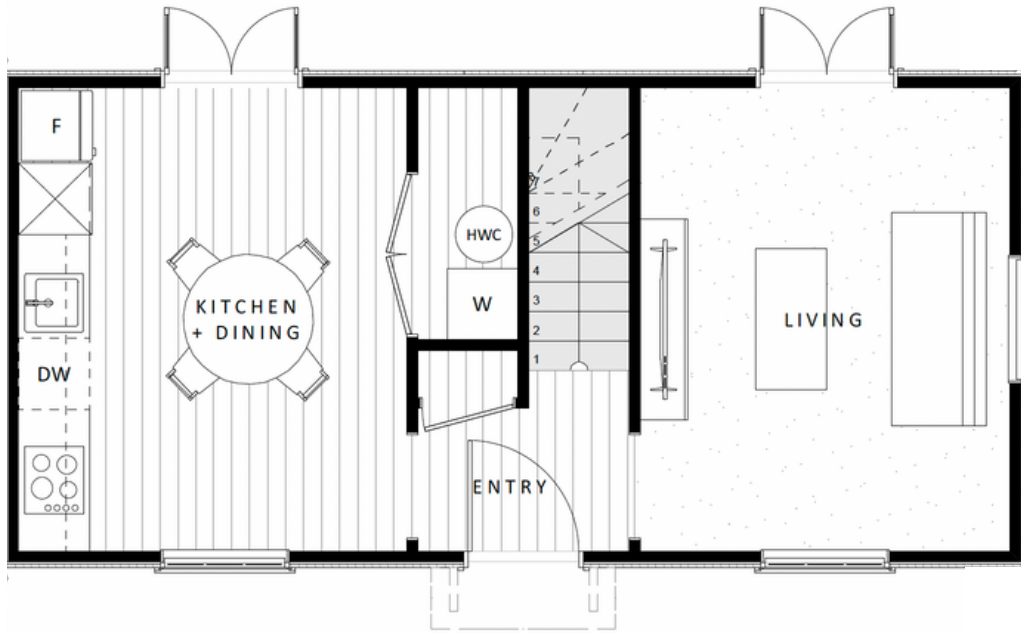
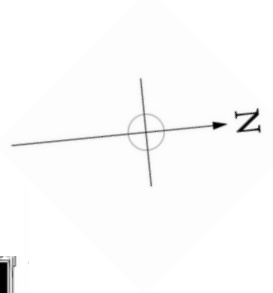
---

BROOKSFIELD

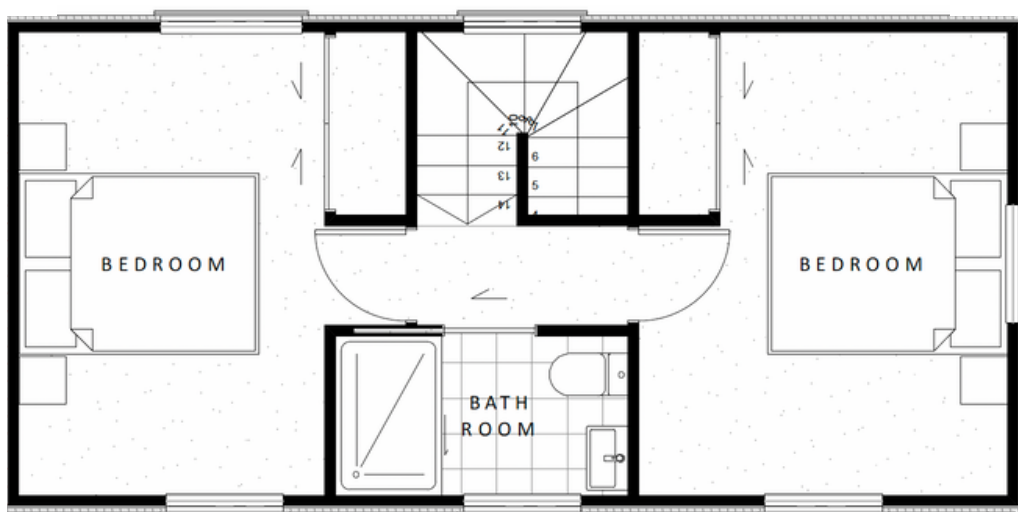
0800 548 454 | [brooksfeld.co.nz](http://brooksfeld.co.nz)

# FLOOR PLAN - COTTAGE 1

44 Winton Street



GROUND FLOOR



FIRST FLOOR

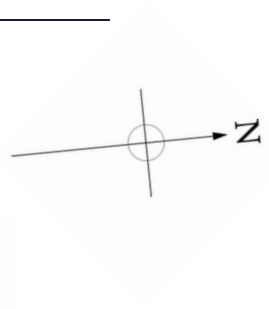
BROOKSFIELD

0800 548 454 | brooksfield.co.nz

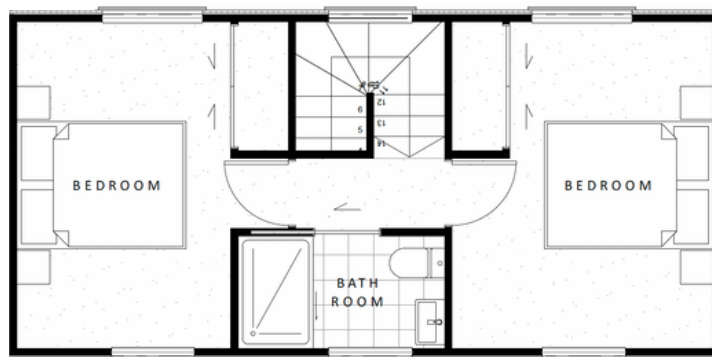


# FLOOR PLAN - COTTAGE 2

44 Winton Street



GROUND FLOOR



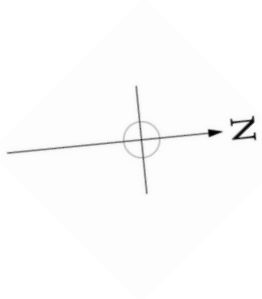
FIRST FLOOR

BROOKSFIELD

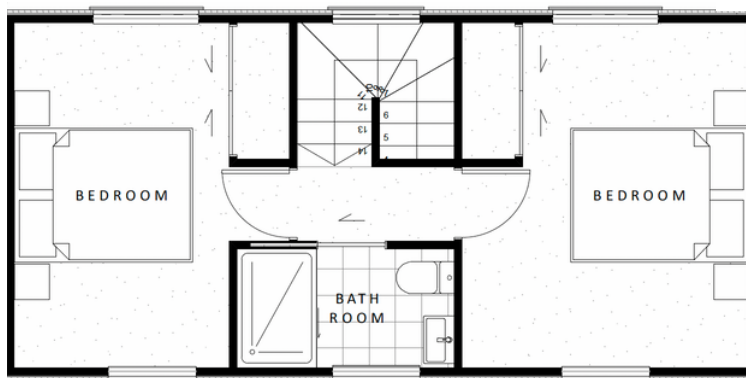
0800 548 454 | brooksfield.co.nz

# FLOOR PLAN - COTTAGE 3

44 Winton Street



GROUND FLOOR



FIRST FLOOR

BROOKSFIELD

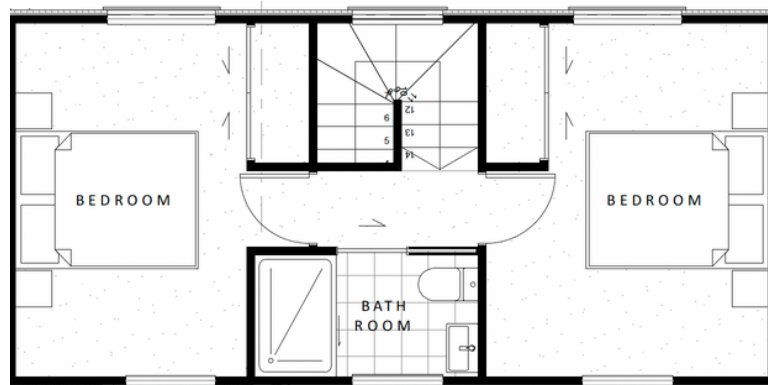
0800 548 454 | brooksfield.co.nz

# FLOOR PLAN - COTTAGE 4

44 Winton Street



GROUND FLOOR



FIRST FLOOR

BROOKSFIELD

0800 548 454 | brooksfield.co.nz

# DESIGN

Brooksfield

---

These homes are the latest in our series of 'Cottage Revival Homes'. Each home features well-thought-out spaces. The interiors are done in a sympathetic way to the exteriors with large skirtings and architraves, colours are reasonably neutral but certainly with a cottage feel. At Brooksfield we believe in using quality and sustainable materials so all of our homes come with low-VOC paint, tiled flooring, wool carpets and wool insulation as standard.

## COLOURS AND SPECIFICATIONS

### Exterior

---



Cladding - Weatherboard  
Colour: TBC



Longrun Roofing  
Colour: TBC



Yale Keyless Entry

### Interior

---



Walls - Resene Half  
Parchment  
Low-VOC Paint



Skirtings, Ceilings & Doors -  
Quarter Merino  
Low-VOC Paint



Bathroom Wall Tile



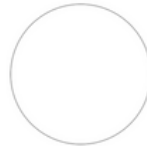
Entrance Floor Tile



Carpet - 100% NZ Wool



Bathroom Floor - Tile



Kitchen Cabinets - French  
Country White



Kitchen Bench - Stone -  
Coronet Peak



Splashback - Subway Tiles



Roller Blinds in Living Areas



Venetian Blinds - White -  
In Bedrooms



Wool Insulation

# PLUMBING AND ELECTRICAL

## Plumbing

---



Kitchen Mixer - Chrome



Bathroom To Floor Vanity - English Classic 700mm Vanity



Toilets - Argent Krona



Chrome Shower Mixer



Downstairs W/C Vanity



Chrome Showerhead & Rail



Bathroom Tapware



Toilet Roll Holder

## Electrical

---



Heated Towel Rail - 400x600 Elan 20R



Round Mirror With Demist Heater Behind



Downlights - LED Switch



Plugs - Iconic Switchgear



Outdoor Lights



Bathroom Heater - Serene 2068

# APPLIANCES

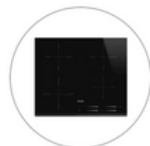
---



Oven - Smeg Single Wall Oven



Rangehood - Applico Canopy Rangehood



Cook Top - Smeg 4 Zone Induction Cooktop



Dishwasher - Fisher & Paykel Single Dishwasher



Heat Pump - Fujitsu - KW dependant on size to meet tenancy regulations

BROOKSFIELD

0800 548 454 | brooksfeld.co.nz

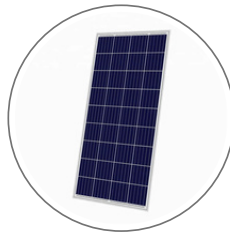
# SOLAR POWER

These homes feature our pre-installed system which will save you roughly 50% (+/-) on your power bill. The system we install in Brookfields homes includes an 'Enphase' individual inverter on each of the panels, meaning each panel works on its own without relying on the other panel's sun exposure or cleanliness. We also include a 'Green Catch Diverter' system which diverts excess power to the hot water cylinder before sending it back to the grid to sell, this is the most efficient way to use the power generated.

## Solar power system



Green Catch Solar Diverter  
5 Year Product Warranty

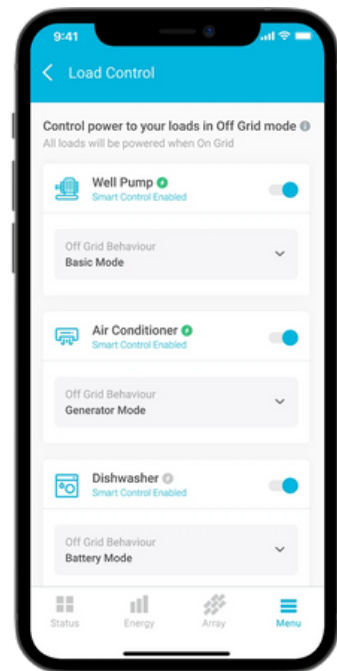
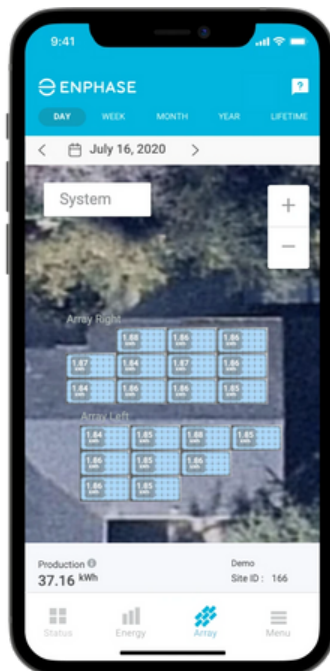


Jinko Solar Panels  
25 Year Product Warranty



Enphase IQ7A Microinverter  
10 Year Product Warranty

The solar power system installed in Brookfields homes features the latest in smart home technology. You are able to monitor and track the power produced and used as well as check to see how much power is being imported from and exported to the national grid. All you need is a wi-fi connection and the Enphase app.



BROOKSFIELD

0800 548 454 | brookfield.co.nz



# Your Rental Appraisal

27 November 2023

ADDRESS: Home 1 - 44 Winton Street

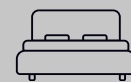
Thank you for the opportunity to provide a rental appraisal for the above property. We use the latest market insights, current available listings and recently rented statistics to provide you with a comprehensive appraisal.

After reviewing the provided information, believe a fair market rent would be between **\$500 - \$520 per week** for an unfurnished, long-term rental.

Please do not hesitate to contact me if you have any questions regarding this rental appraisal.

Kind regards,

Ngaire Baker  
Senior Property Manger



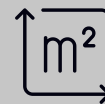
2



1



1



70



# Your Rental Appraisal

27 November 2023

ADDRESS: Homes 2 - 4, 44 Winton Street

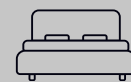
Thank you for the opportunity to provide a rental appraisal for the above property. We use the latest market insights, current available listings and recently rented statistics to provide you with a comprehensive appraisal.

After reviewing the provided information, believe a fair market rent would be between **\$530 - \$560 per week** for an unfurnished, long-term rental.

Please do not hesitate to contact me if you have any questions regarding this rental appraisal.

Kind regards,

Ngaire Baker  
Senior Property Manger



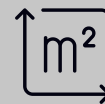
2



1.5

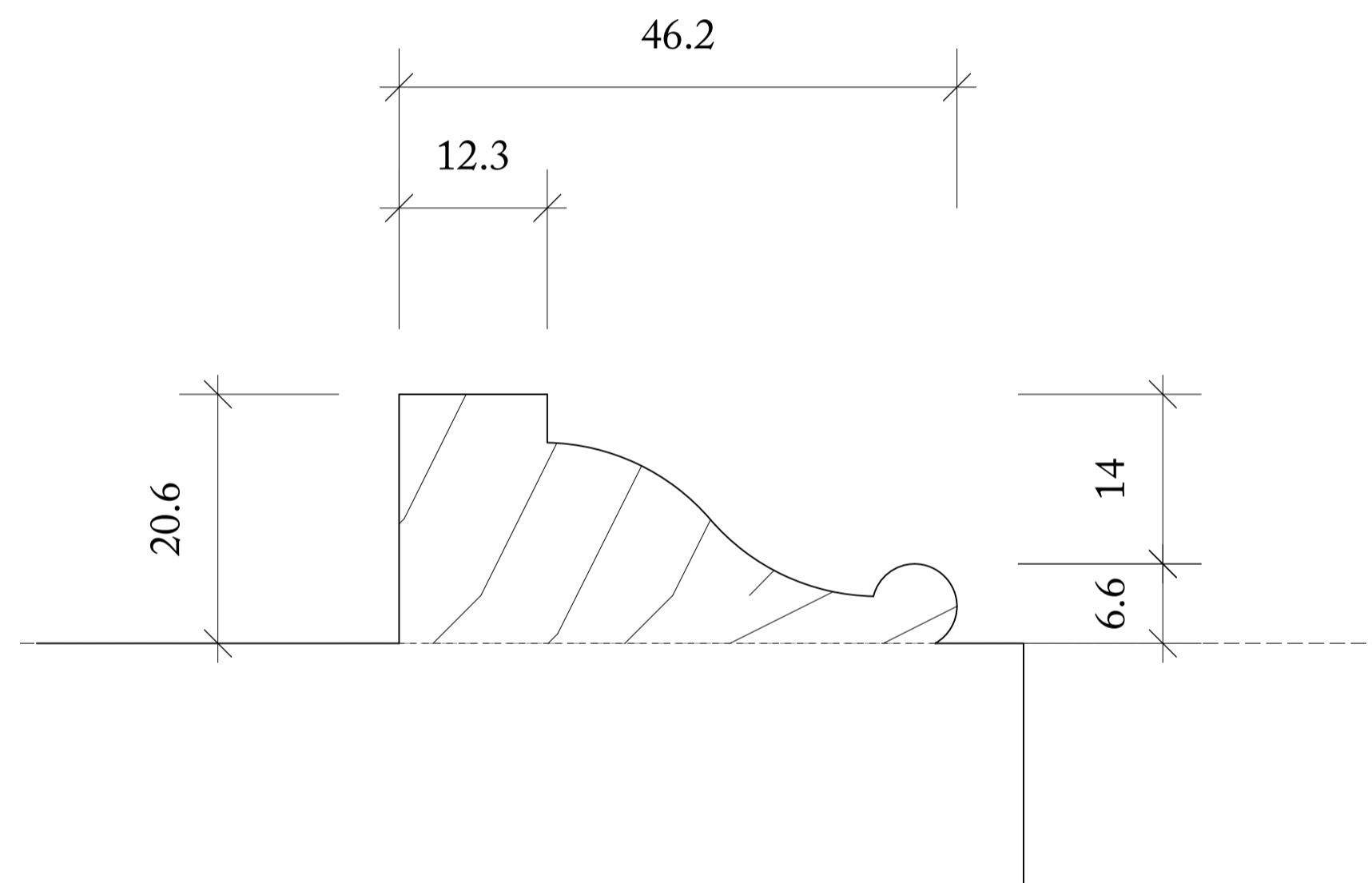


1

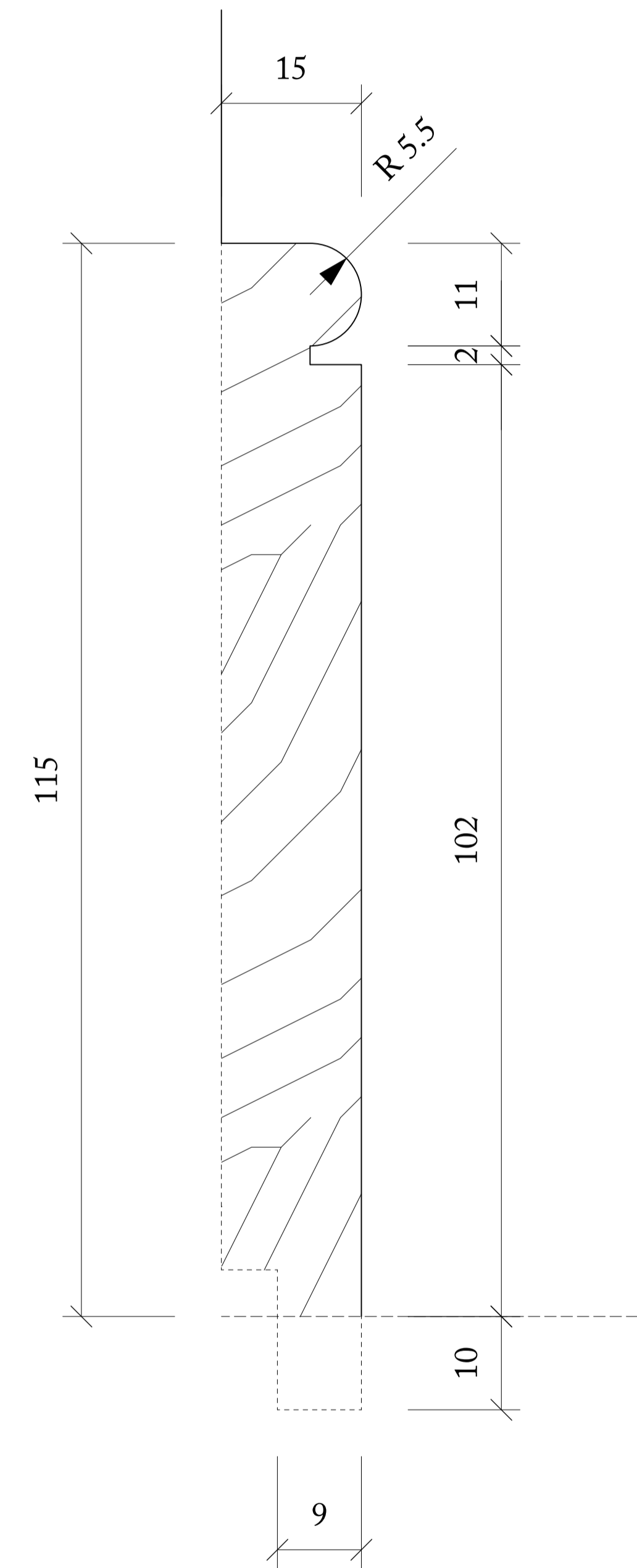


90





1 ARCHITRAVE  
1:1 @ A3

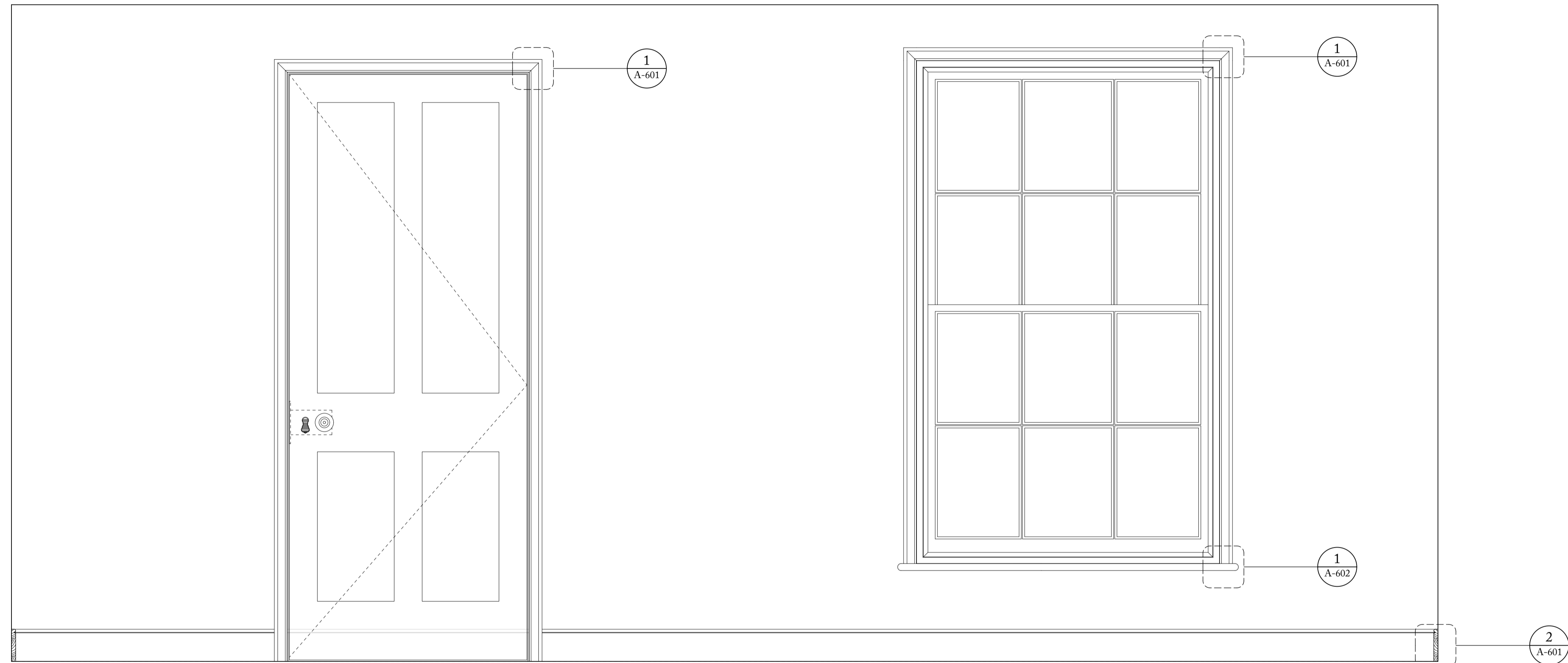


2 SKIRTING  
1:1 @ A3

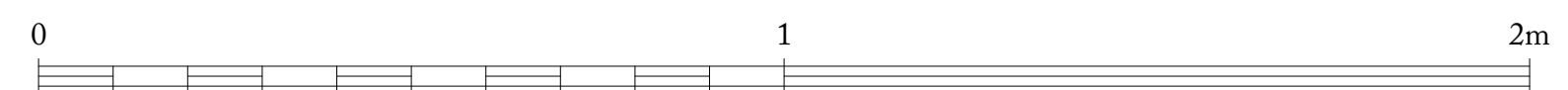
# Skirting and Architrave Profile



Ben Pentreath		1-4 Lamp Office Court Lambis Conduit Street London WC1N 3NF T +44 (0) 20 7430 2424 benpentreath.com	
PROJECT: BROOKSFIELD			
TITLE: STANDARD PROFILES TYPE B			
DRAWING NO: A-601	REV. NO: -		
SCALE: N/A 1:1 @ A3	DRAWN BY: RH		
DATE: 27.04.23	CHECKED BY: RI		
All dimensions to be checked on site. All designs © Ben Pentreath Ltd 2022. Not to be reproduced without permission			



## Skirting and Architrave Profile



**Ben Pentreath**

1-4 Lamp Office: Court  
Lambis Conduit Street  
London WC1N 3NF  
T +44 (0) 20 7430 2424  
benpentreath.com

PROJECT: BROOKSFIELD

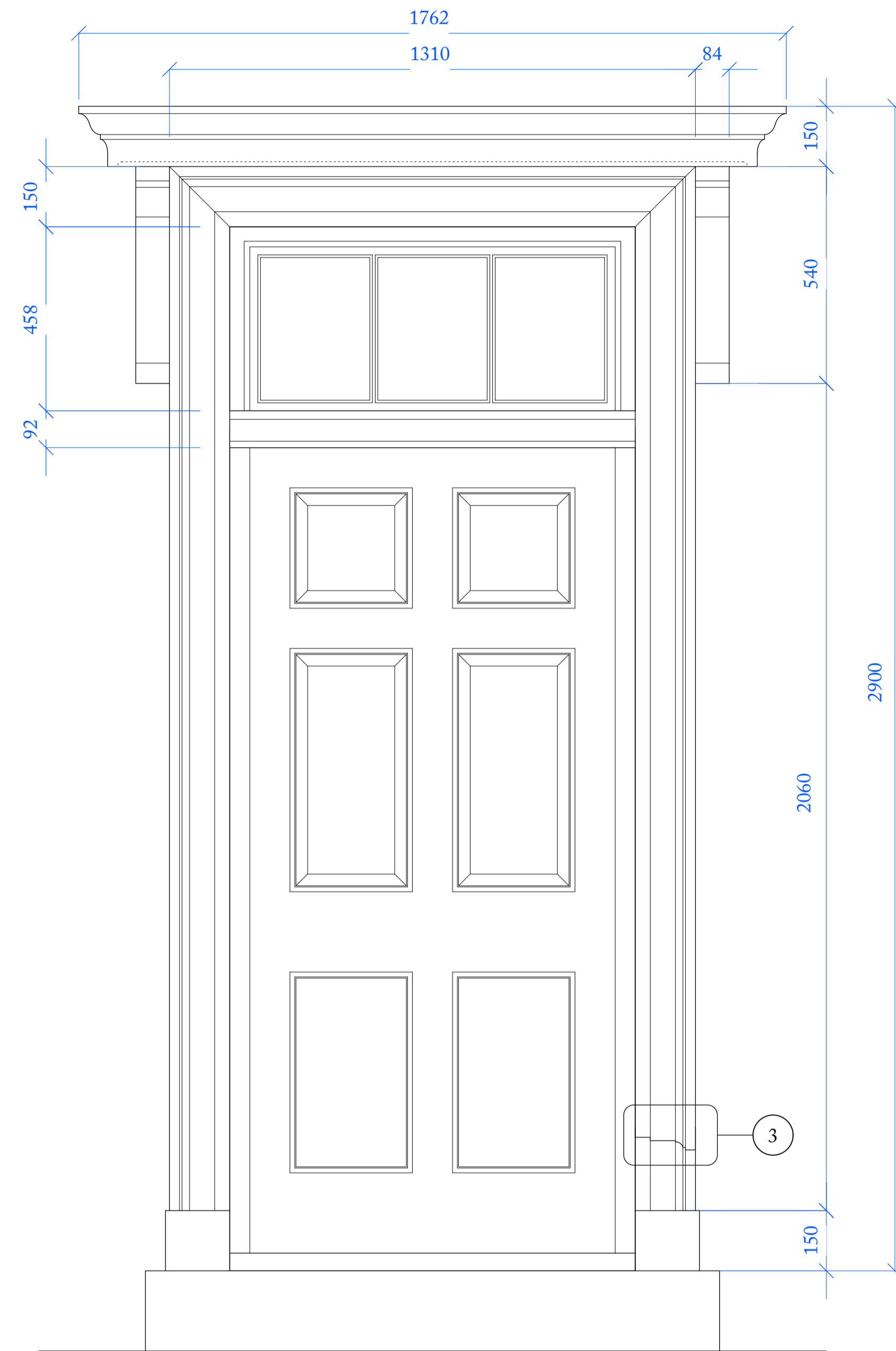
TITLE: STANDARD PROFILES  
TYPE B ELEVATION

DRAWING NO: A-301 REV. NO: -

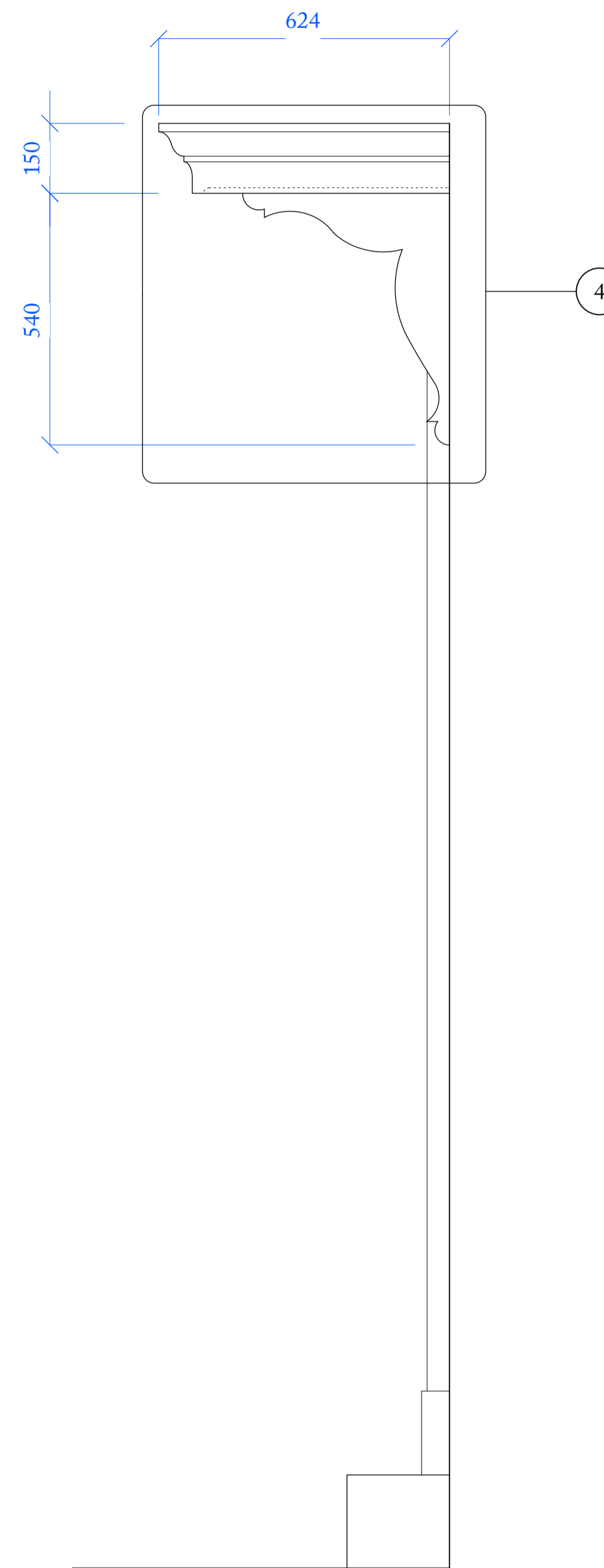
SCALE: 1:10 @ A1 DRAWN BY: RH  
1:20 @ A3

DATE: 27.04.23 CHECKED BY: RI

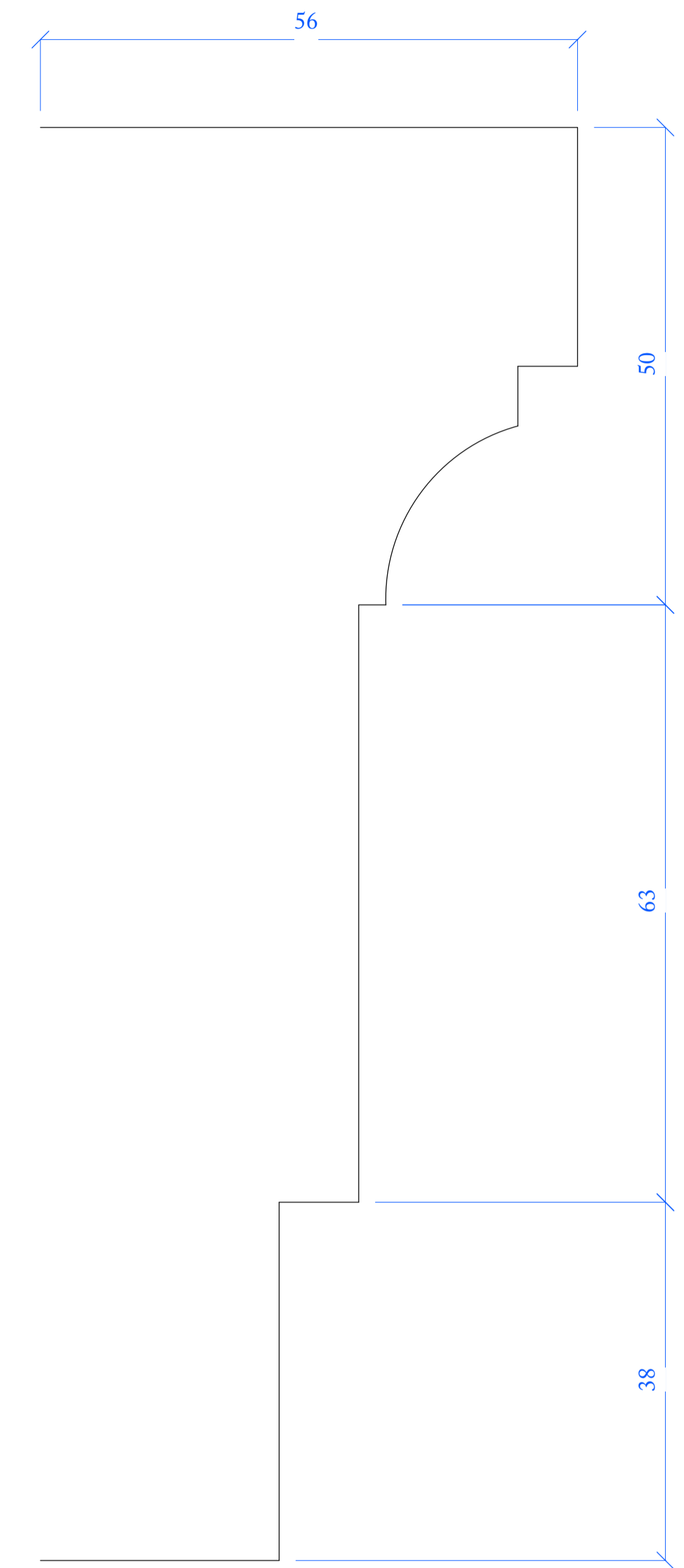
All dimensions to be checked on site.  
All designs © Ben Pentreath Ltd 2022. Not to be reproduced without permission



1 ELEVATION  
1:10 @ A1 / 1:20 @ A3

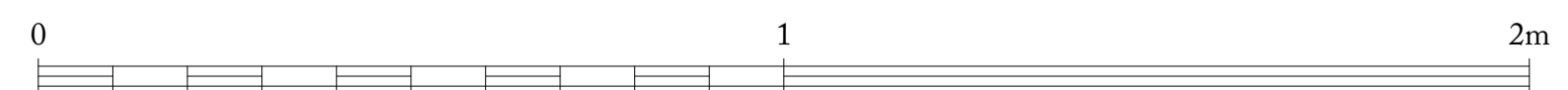


2 SIDE ELEVATION  
1:10 @ A1 / 1:20 @ A3

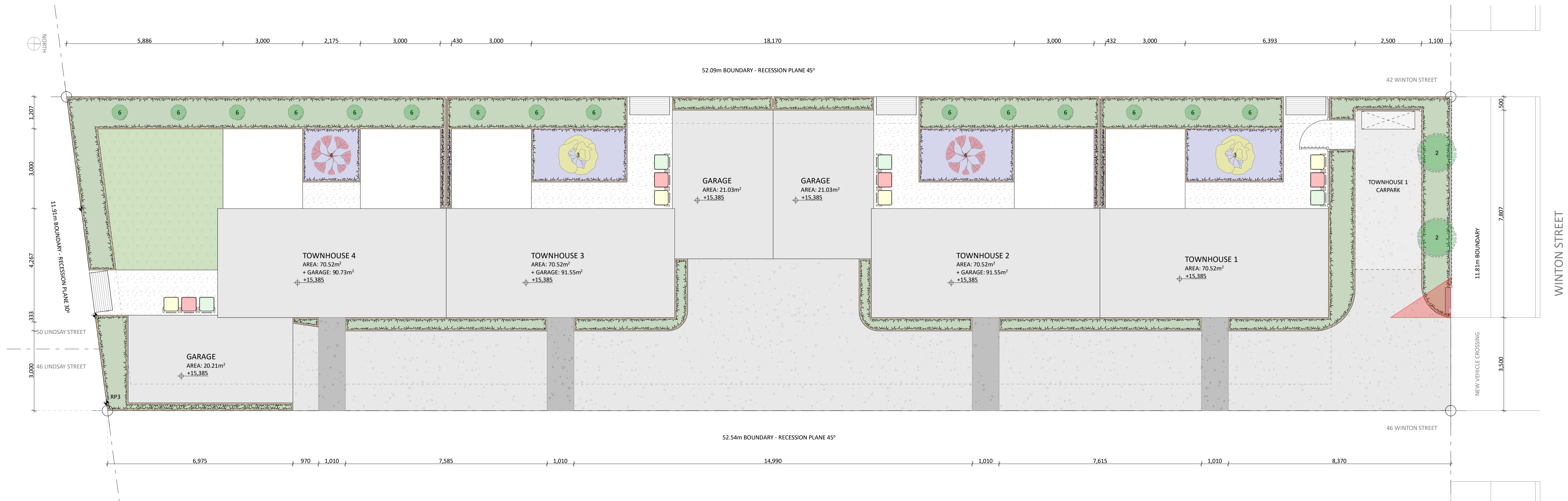


3 MOULDING DETAIL  
1:1 @ A3

# Door Casing



<b>Ben Pentreath</b>		3 Lamp Office Court Lambs Conduit Street London WC1N 3NF T +44 (0) 20 7430 2424 benpentreath.com	
PROJECT:			
TITLE: DOORCASE DETAILS			
DRAWING NO: -		REV. NO: -	
SCALE: 1:10 @ A1 1:20 @ A3		DRAWN BY: RH	
DATE: 06.10.22		CHECKED BY: BP	
All dimensions to be checked on site. All designs © Ben Pentreath Ltd 2020. Not to be reproduced without permission			



1. LANDSCAPING PLAN  
SCALE 1:75

**LANDSCAPING LEGEND**

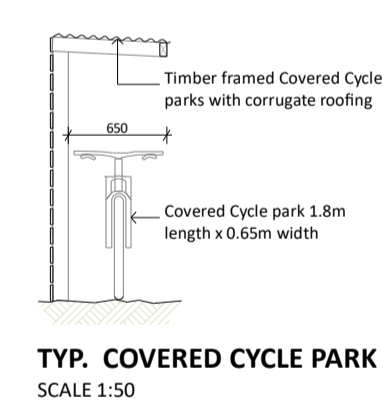
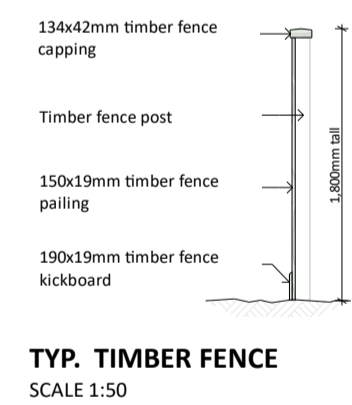
- Grass/Lawn Area
- Planting Area
  - Medium bark chip finish
  - Trees to be 1.5m min. height at the time of planting
  - Landscaping areas to be 50% trees, 50% shrubs
- Lime Area
  - Lime chip finish
- Driveway
  - Plain concrete
  - 1:100 min. falls as shown
  - Slip resistance to comply with NZBC D1/AS1
- Driveway Feature Finish
  - Exposed aggregate concrete
  - 1:100 min. falls as shown
  - Slip resistance to comply with NZBC D1/AS1
- Path/Patio
  - Plain Concrete
  - 1:100 min. falls
  - Slip resistance to comply with NZBC D1/AS1
- Washing Line
  - Foldable washing line on fence
- Covered Cycle Park
  - Refer to typical detail for further information

**FENCING LEGEND**

- Refer to typical fence detail for further information
- Timber Fence
    - 1800mm High
    - 150x19 Rough sawn paings overlapped capping
    - Unpainted
  - Timber Picket Fence
    - 1000mm High
    - 150x19 Rough sawn paings
    - Unpainted

**PLANT LEGEND**

- TYPE 1 - PORTUGUESE LAUREL  
"Prunus laurifolia"
- TYPE 2 - JAPANESE MAPLE  
"Acer palmatum"
- TYPE 3 - KOWHAI TREE  
"Sophora microphylla"
- TYPE 4 - CHERRY TREE  
"Prunus 'Accolade'"
- TYPE 5 - SHRUB MIX  
Hydrangea, Lavender, Caprosma, Hebe and/or similar shrubs
- TYPE 6 - THUJA  
"Thuja occidentalis"



DO NOT SCALE DRAWINGS. ALL CONTRACTORS MUST VERIFY ALL DIMENSIONSON SITE BEFORE STARTING WORK OR ORDERING MATERIALS. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS AND ICE VERA. ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE AND ALL RELEVANT AND ASSOCIATED STANDARDS, CODES AND TERRITORIAL AUTHORITY BYLAWS. ALL PROPRIETARY ITEMS AND MATERIALS SHALL BE CHECK, INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALL WORK SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE BUILDING CONSENT AND ANY RESOURCE CONSENTS ISSUED FOR THIS PROJECT. SITE LEVELS SHOWN ARE AS EXISTING. REFER TO SURVEYOR FOR ACCURATE SITE PLAN DIMENSIONS. A REGISTERED SURVEYOR IS TO SET OUT THE BUILDING BEFORE CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR AMBIGUITY SHALL BE CLARIFIED WITH DESIGN WORKSHOP BEFORE ANY FURTHER WORK COMMENCEMENT. ALL RIGHTS RESERVED. THIS DRAWING & ALL GRAPHIC & WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTE THE ORIGINAL & UNPUBLISHED WORK OF DESIGN WORKSHOP LTD & MAY NOT BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR PART WITHOUT EXPRESSED WRITTEN PERMISSION. © DESIGN WORKSHOP LTD

**Winton Street Townhouses**  
44 Winton Street, St Albans, Christchurch

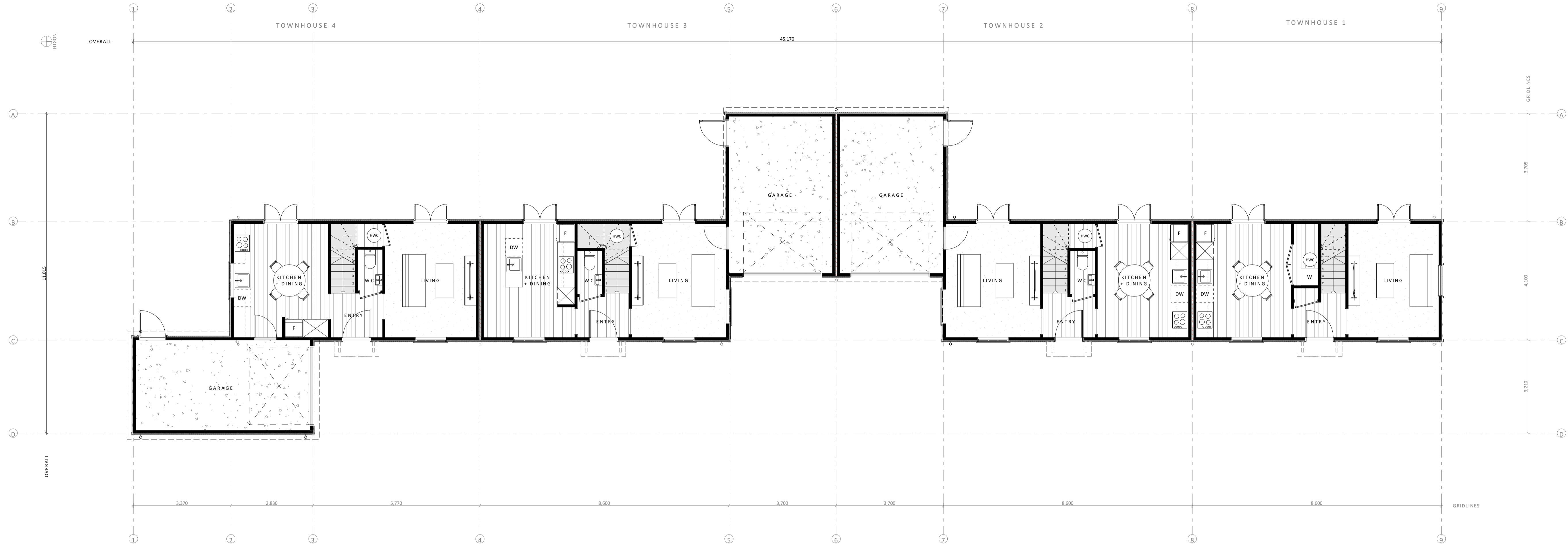
STAGE	REV	DATE
Concept	A	-
Resource Consent	B	04/12/2023
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NAME		
LANDSCAPING PLAN		
CLIENT	Brooksfield	SCALE 1:75, 1:50 SCALE DOUBLED AT A3
DATE	5/12/2023	DRAWN SB
JOB NO.	DW1470	CHECKED MH

REVISION
A

DRAWING NO. **A104**





**2. GROUND FLOOR PLAN**  
SCALE 1:75

**LEGEND - WALLS**

- 90mm Timber Framed Wall (external wall)
  - GIB wall lining (refer to finishes plan)
  - 90 x 45mm studs @ 600 CRS, dwangs @ 800 CRS
  - Building wrap
  - 20mm drained cavity
  - Southern Pine Weatherboard cladding
  
- 90mm Timber Framed Wall (internal wall)
  - GIB wall lining both sides (refer to finishes plan)
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  
- RCS INTA120a (intertennancy wall)
  - GIB wall lining (refer to finishes plan)
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  - 20mm cavity
  - 50mm INTA120a panel
  - 20mm cavity
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  - GIB wall lining (refer to finishes plan)

**WALL NOTES:**

- Top Plate Fixing:** Top plate to be fixed to studs @ 600 max CRS with 2-90 x 3.15 end nails + 2 wire dogs or 4.7kN alternative fixing unless noted otherwise
- Bottom Plate Fixing to Slab:** Proprietary anchor's @ 900 max CRS with 50x50x3 flat washer unless noted otherwise
- Bottom Plate Fixing to Timber:** Refer to "NZS3604:2011 Table 8.19 - Nailing Schedule for hand-driven and power-driven nails"

**GENERAL NOTES:**

- All entries and exits to be in accordance with NZBC D1/AS1.
- Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/ table 2.
- Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 table 2 and also to be in accordance with NZBC E3 - Internal Moisture.
- Kitchen bench top to comply with NZBC G3/AS1.
- Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood. refer nzbc g4/as1 1.3.c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.
- Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F3/AS1 with hush facility (3.0m radius)
- All exposed fixings to be stainless steel
- Contractor to install all new plumbing fixtures and appliances to manufacturers specifications.
- Contractor to furnish and install all hardware unless noted otherwise.
- Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall sconce and accessory locations.

DO NOT SCALE DRAWINGS. ALL CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING WORK OR ORDERING MATERIALS. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS AND ICE VERA. ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE AND ALL RELEVANT AND ASSOCIATED STANDARDS, CODES AND TERRITORIAL AUTHORITY BYLAWS. ALL PROPRIETARY ITEMS AND MATERIALS SHALL BE CHECK, INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALL WORK SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE BUILDING CONSENT AND ANY RESOURCE CONSENTS ISSUED FOR THIS PROJECT. SITE LEVELS SHOWN ARE AS EXISTING. REFER TO SURVEYOR FOR ACCURATE SITE PLAN DIMENSIONS. A REGISTERED SURVEYOR IS TO SET OUT THE BUILDING BEFORE CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR AMBIGUITY SHALL BE CLARIFIED WITH DESIGN WORKSHOP BEFORE ANY FURTHER WORK COMMENCEMENT. ALL RIGHTS RESERVED. THIS DRAWING & ALL GRAPHIC & WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTE THE ORIGINAL & UNPUBLISHED WORK OF DESIGN WORKSHOP LTD & MAY NOT BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR PART WITHOUT EXPRESSED WRITTEN PERMISSION. © DESIGN WORKSHOP LTD

**Winton Street Townhouses**  
44 Winton Street, St Albans, Christchurch

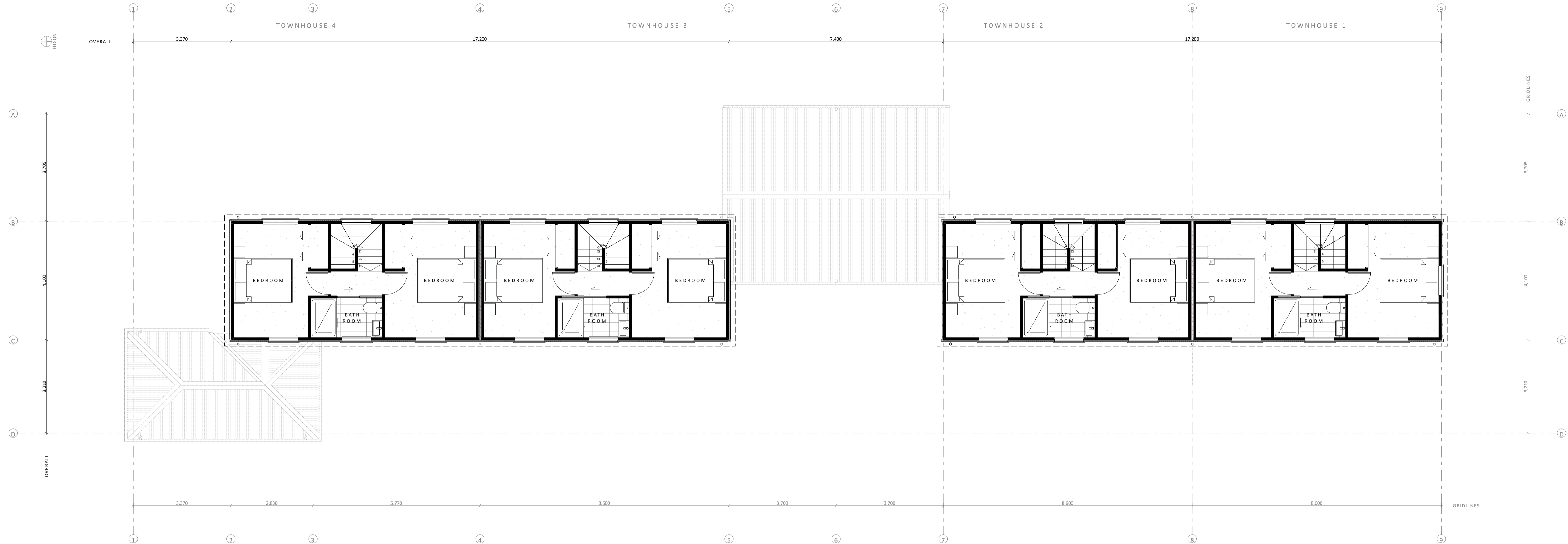
STAGE	REV	DATE
Concept	A	-
Resource Consent	B	04/12/2023
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NAME		
GROUND FLOOR PLAN		
CLIENT	Brooksfield	SCALE 1:75 SCALE DOUBLED AT A3
DATE	5/12/2023	DRAWN SB
JOB NO.	DW1470	CHECKED MH

REVISION
A

DRAWING NO. **A301**





**3. FIRST FLOOR PLAN**  
SCALE 1:75

**LEGEND - WALLS**

- 90mm Timber Framed Wall (external wall)
  - GIB wall lining (refer to finishes plan)
  - 90 x 45mm studs @ 600 CRS, dwangs @ 800 CRS
  - Building wrap
  - 20mm drained cavity
  - Southern Pine Weatherboard cladding
  
- 90mm Timber Framed Wall (internal wall)
  - GIB wall lining both sides (refer to finishes plan)
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  
- RCS INTA120a (intertennancy wall)
  - GIB wall lining (refer to finishes plan)
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  - 20mm cavity
  - 50mm INTA120a panel
  - 20mm cavity
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  - GIB wall lining (refer to finishes plan)

**WALL NOTES:**

- Top Plate Fixing:** Top plate to be fixed to studs @ 600 max CRS with 2-90 x 3.15 end nails + 2 wire dogs or 4.7kN alternative fixing unless noted otherwise
- Bottom Plate Fixing to Slab:** Proprietary anchor's @ 900 max CRS with 50x50x3 flat washer unless noted otherwise
- Bottom Plate Fixing to Timber:** Refer to "NZS3604:2011 Table 8.19 - Nailing Schedule for hand-driven and power-driven nails"

**GENERAL NOTES:**

- All entries and exits to be in accordance with NZBC D1/AS1.
- Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/ table 2.
- Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 table 2 and also to be in accordance with NZBC E3 - Internal Moisture.
- Kitchen bench top to comply with NZBC G3/AS1.
- Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood. refer nzbc g4/as1 1.3.c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.
- Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F3/AS1 with hush facility (3.0m radius)
- All exposed fixings to be stainless steel
- Contractor to install all new plumbing fixtures and appliances to manufacturers specifications.
- Contractor to furnish and install all hardware unless noted otherwise.
- Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall sconce and accessory locations.

DO NOT SCALE DRAWINGS. ALL CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING WORK OR ORDERING MATERIALS. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS AND ICE VERA. ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE AND ALL RELEVANT AND ASSOCIATED STANDARDS, CODES AND TERRITORIAL AUTHORITY BYLAWS. ALL PROPRIETARY ITEMS AND MATERIALS SHALL BE SPECIALLY INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALL WORK SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE BUILDING CONSENT AND ANY RESOURCE CONSENTS ISSUED FOR THIS PROJECT. SITE LEVELS SHOWN ARE AS EXISTING. REFER TO SURVEYOR FOR ACCURATE SITE PLAN DIMENSIONS. A REGISTERED SURVEYOR IS TO SET OUT THE BUILDING BEFORE CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR AMBIGUITY SHALL BE CLARIFIED WITH DESIGN WORKSHOP BEFORE ANY FURTHER WORK COMMENCEMENT. ALL RIGHTS RESERVED. THIS DRAWING & ALL GRAPHIC & WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTE THE ORIGINAL & UNPUBLISHED WORK OF DESIGN WORKSHOP LTD. & MAY NOT BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR PART WITHOUT EXPRESSED WRITTEN PERMISSION. © DESIGN WORKSHOP LTD

**Winton Street Townhouses**  
44 Winton Street, St Albans, Christchurch

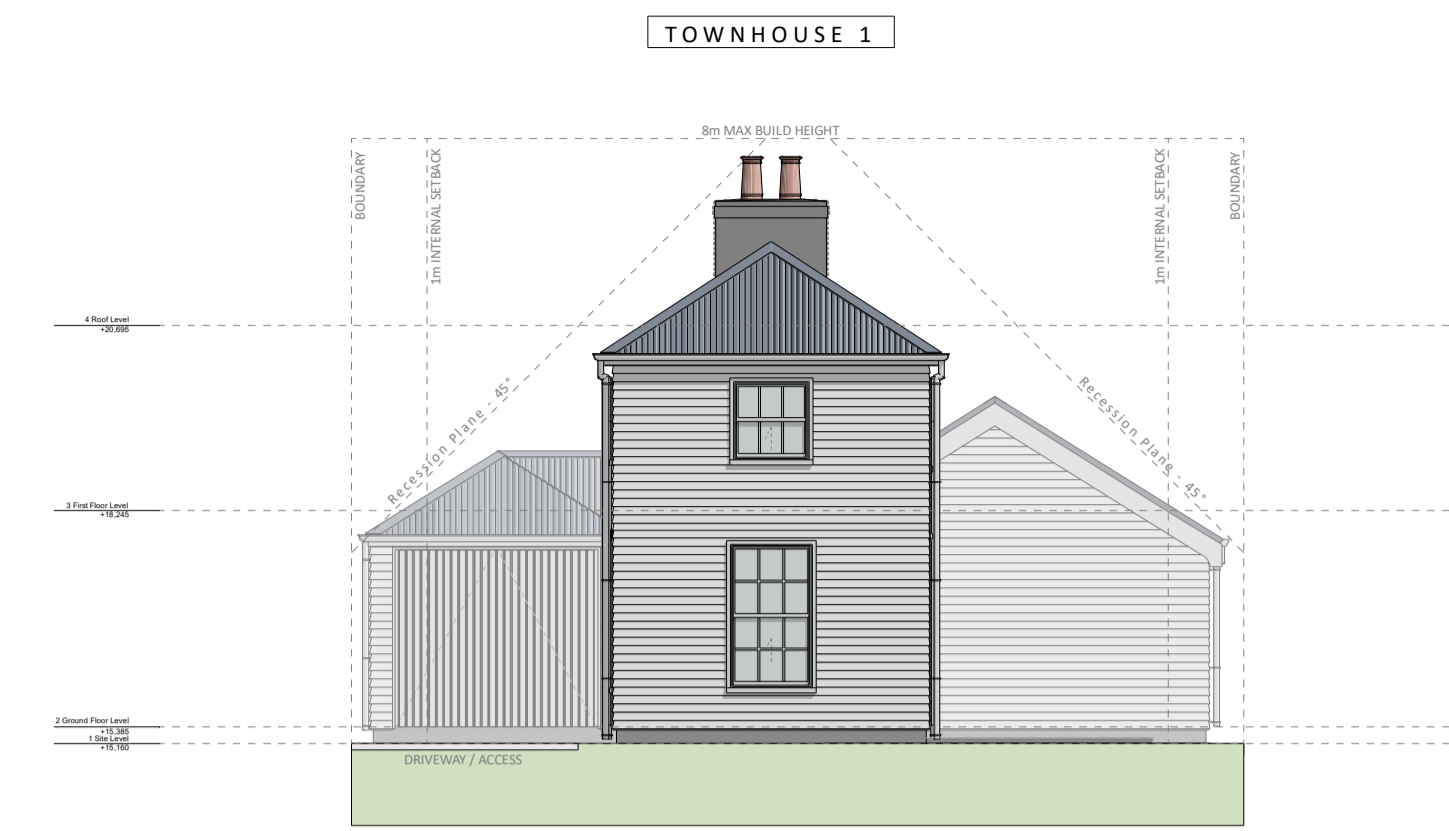
STAGE	REV	DATE
Concept	A	-
Resource Consent	B	04/12/2023
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NAME		
FIRST FLOOR PLAN		
CLIENT	Brooksfield	SCALE 1:75 SCALE DOUBLED AT A3
DATE	5/12/2023	DRAWN SB
JOB NO.	DW1470	CHECKED MH

REVISION
A

DRAWING NO. **A302**

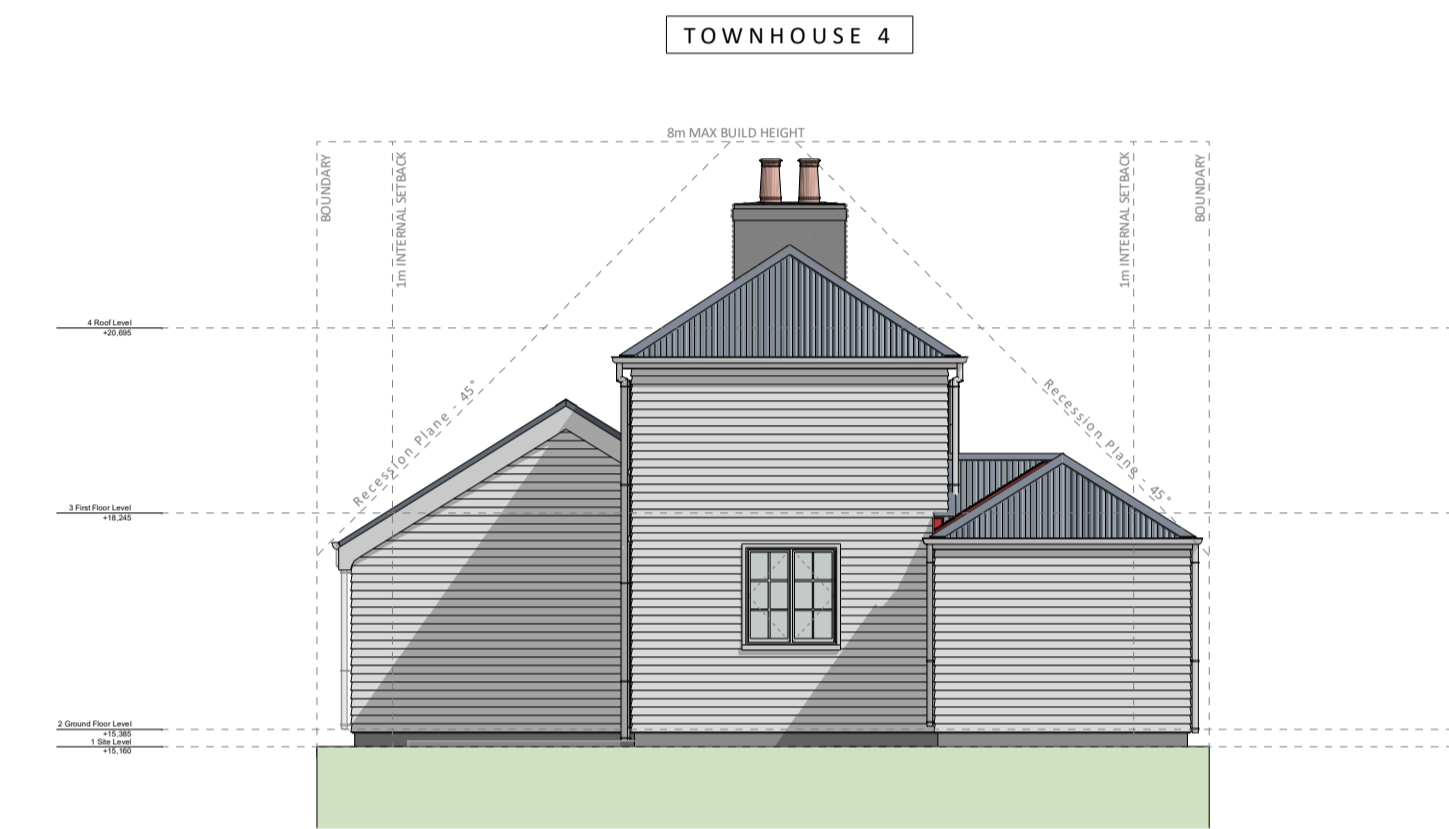




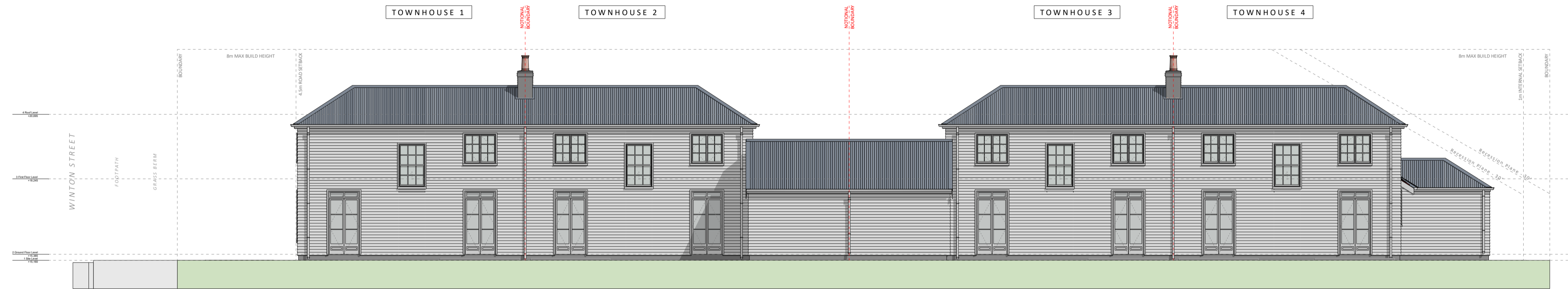
E01 NORTH ELEVATION  
SCALE 1:100



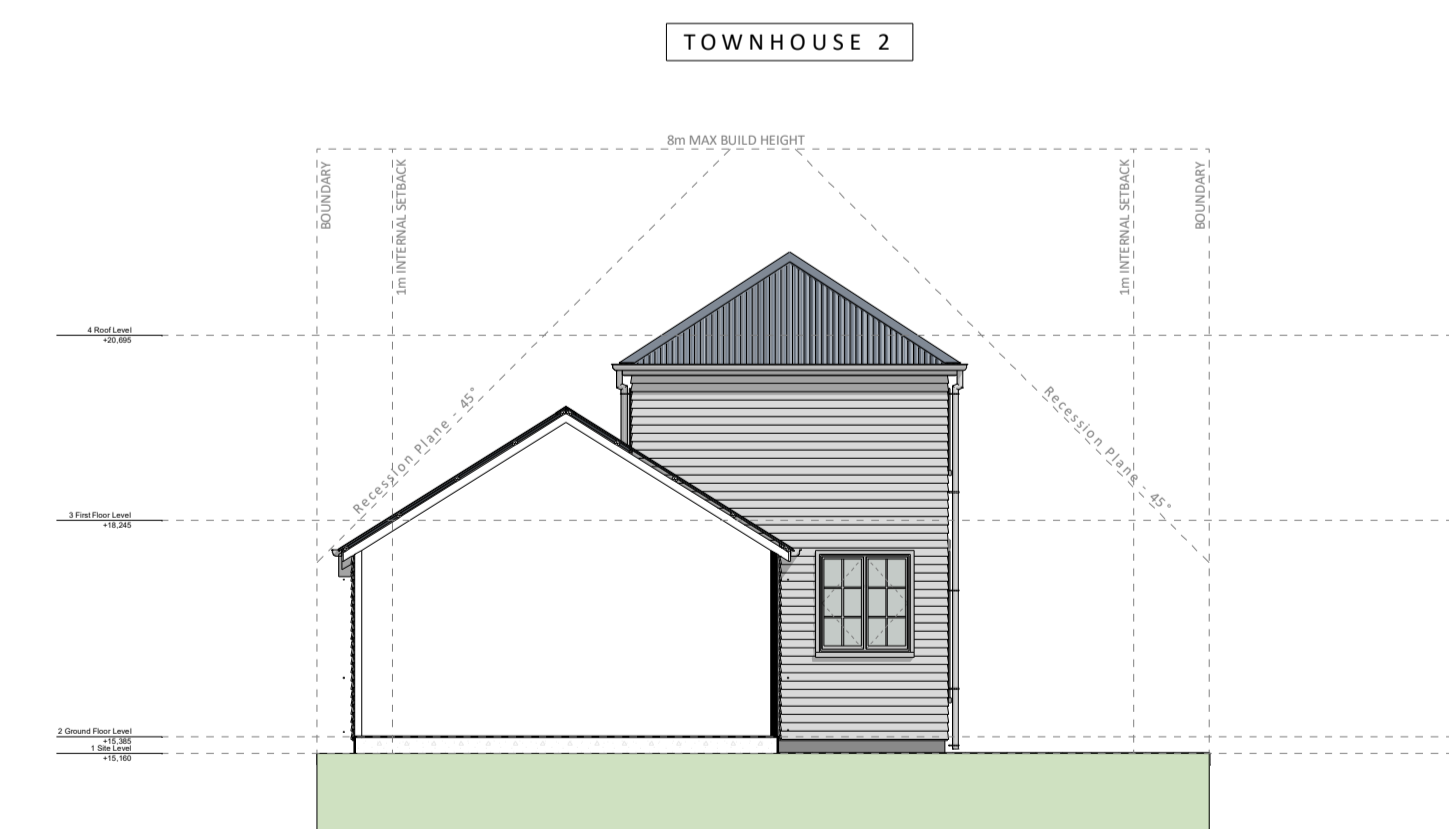
E02 EAST ELEVATION  
SCALE 1:100



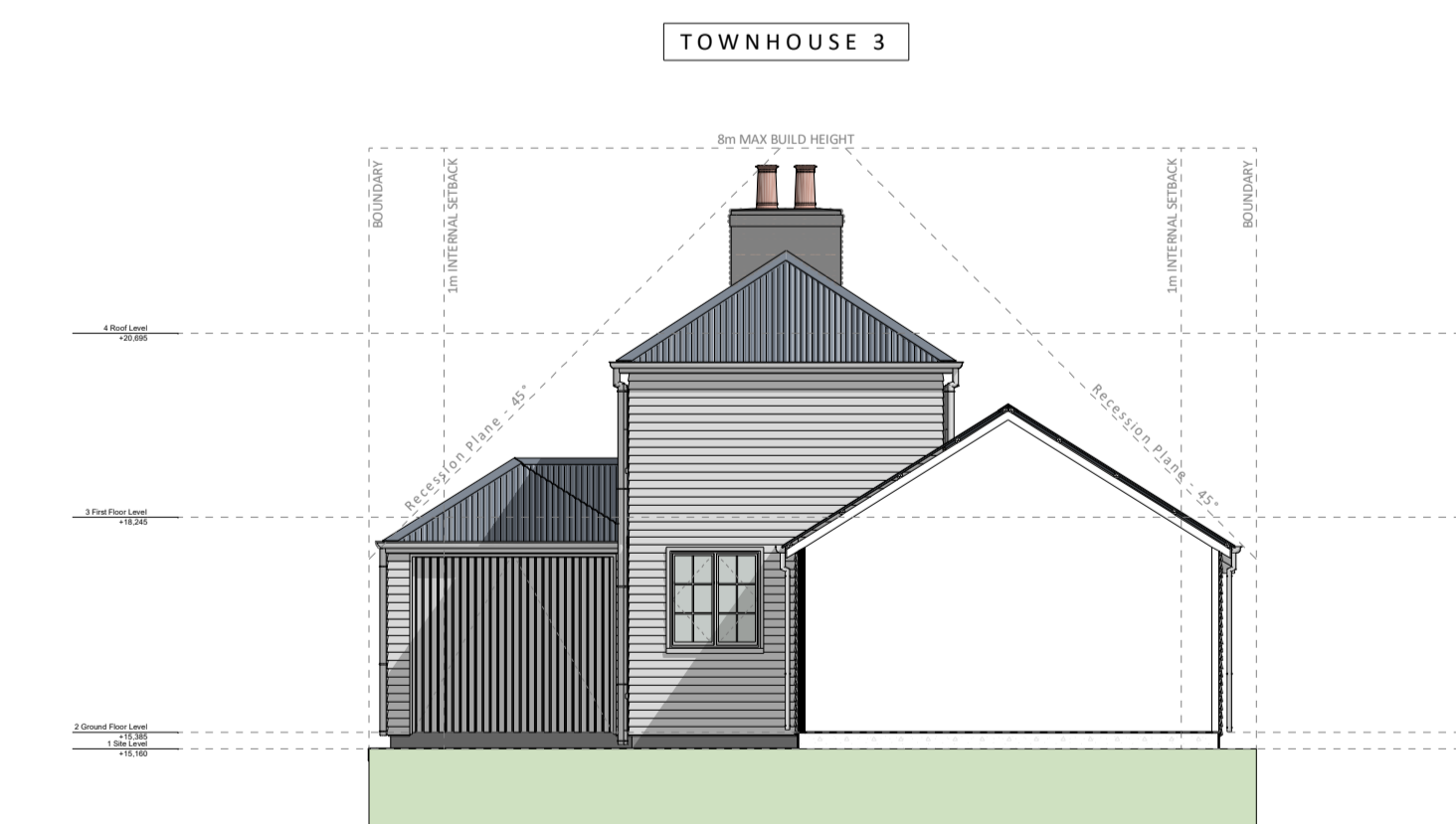
E03 SOUTH ELEVATION  
SCALE 1:100



E04 WEST ELEVATION  
SCALE 1:100



E05 SOUTH TH2 ELEVATION  
SCALE 1:100



E06 NORTH TH3 ELEVATION  
SCALE 1:100



E STREET ELEVATION  
SCALE 1:100

**LEGEND - ELEVATION CLADDING**

**ROOF**  
Dimond Corrugate (0.4mm BMT) Colorsteel Endura roof cladding laid over self-supporting underlay  
- 70x5mm H 2 SC2B Timber purlins at 600mm c/s end span and 900mm c/s mid span, fixed with 1 / 14g self-drilling type 17 screws, 100mm long or 5.5kn alternativ e fixing to roof framing and trusses.

**WEATHERBOARD CLADDING**  
Southern Pine Scallop Rusticated WBR 180x18 weatherboard installed as per manufacturers specifications on 20mm drained cavity system over building wrap.

**PERMANENTLY OBSCURED GLASS:**  
As required by Christchurch District Plan 14.4.2.8

**NOTES:**  
Dimond 125 Quad gutter profile over Dimond 147 Fascia. Finish & colour to match roofing  
Downpipes to be 800, finish & colour to match roofing (UNO)

Residential Series aluminium double-glazed window joinery (Brookfield to select colour and finish.) Grade A safety glass to all glazing within 800mm of FFL & in wet areas.

Fascia, window trims, facings and entry post - Colour to be confirmed with Brookfield Living - Confirm with Brookfield Living before ordering

**General Notes**

Drawings to be printed in colour.  
Do not scale drawings.  
Contractors must verify all dimensions on site before starting work or ordering materials.  
Architectural drawings are to be read in conjunction with the full set of drawings and specification.  
Architectural drawings are to be read in conjunction with consultants' documents and vice versa.  
All work shall comply with the terms and conditions of the building consent and any resource consents issued for this project.  
Any discrepancies or ambiguity shall be clarified with Design Workshop before any further work commence.  
All rights reserved; this drawing & all graphic & written material contained herein constitutes the original & unpublished work of Design Workshop Ltd. & may not be copied, distributed, or used in whole or part without expressed written permission. © Design Workshop Ltd

ISSUE	REV	DATE
CONCEPT	A	27/07/2023

# PRICE LIST

44 Winton Street

HOUSE NUMBER	BEDROOMS	BATHROOMS	CARPARK/ GARAGES	SIZE	PRICE
Cottage 1	2	1	1	70m2	\$659,000
Cottage 2	2	1.5	1	90m2	\$715,000
Cottage 3	2	1.5	1	90m2	\$715,000
Cottage 4	2	1.5	1	90m2	\$725,000

Estimated start

Estimated completion

Title type

March 2024

October 2024

Fee Simple

All homes are sold as a turn-key package. Everything will be completed prior to handover including window furnishings and landscaping.

## BUYING WITH US

Brooksfield

- 1** Contact us to speak with a sales consultant about our homes and select your preferred unit.
- 2** Sign a conditional agreement for your selected property and send to your lawyer to review.
- 3** Complete your due diligence and once you are happy to confirm, pay the required deposit. Our team are here to help you with any questions that you may have during this time.
- 4** Sit back and relax while we build your brand new home.

**BROOKSFIELD**

0800 548 454 | brooksfield.co.nz