

62 Bletsoe Avenue, Christchurch

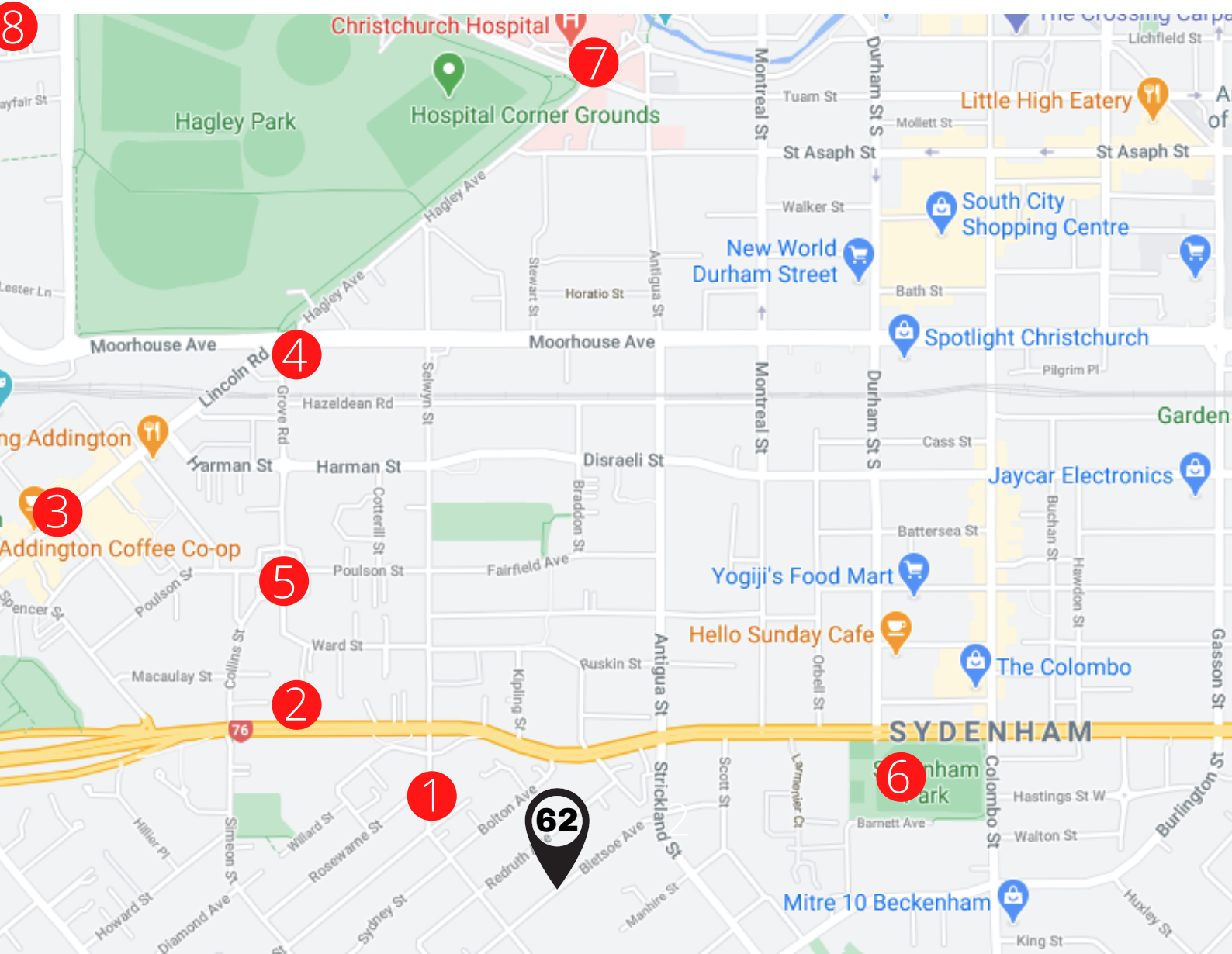
Brooksfield Heritage



BROOKSFIELD

Location

These Brookfield Modern homes are located on Bletsoe Avenue, situated only a short distance from Sydenham park and the Selwyn Street shops with an easy commute into the City Centre. Below are some of our favourite spots close to your next Home or Investment Property.

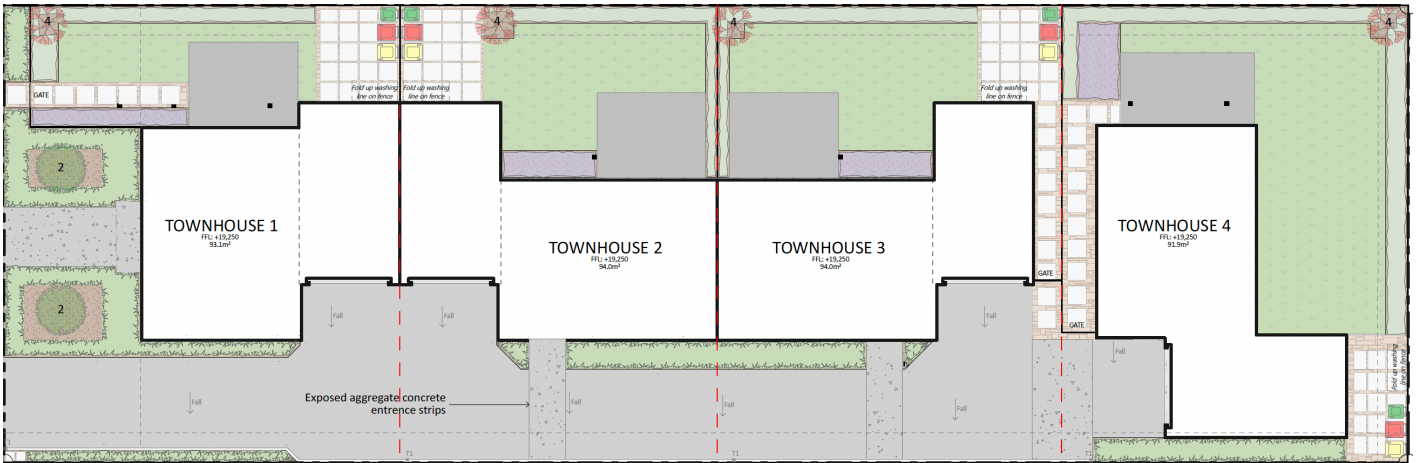


- 1 Selwyn Shops (10m)
- 2 Addington School (700m)
- 3 Addington Shops (2km)
- 4 Hagley Park (1.8km)
- 5 Church Square (1.2km)
- 6 Sydenham Park (1km)
- 7 Hospital (2.2km)
- 8 Airport (13km, 15mins)

BROOKSFIELD

Layout

These 4 homes thoughtfully laid out and designed with space in mind. Each home comes with a large patio and grass outdoor living areas. 62 Bletsoe comes with established planting that includes Japanese Maple trees in the corner of each outdoor living space, griselinia littoralis hedging and cherry trees and box hedging in keeping with heritage Christchurch.



PLANT LEGEND



TYPE 1 - BOX HEDGE
"*Buxus sempervirens*"



TYPE 2 - JAPANESE MAPLE
"*Acer palmatum*"



TYPE 3 - GRISELINIA LITTORALIS HEDGE
"*Broadway Mint*"



TYPE 4 - CHERRY TREE
"*Prunus 'Accolade'*"



TYPE 5 FLOWER MIX
Hydrangea, Lavender, and selected flowering plants

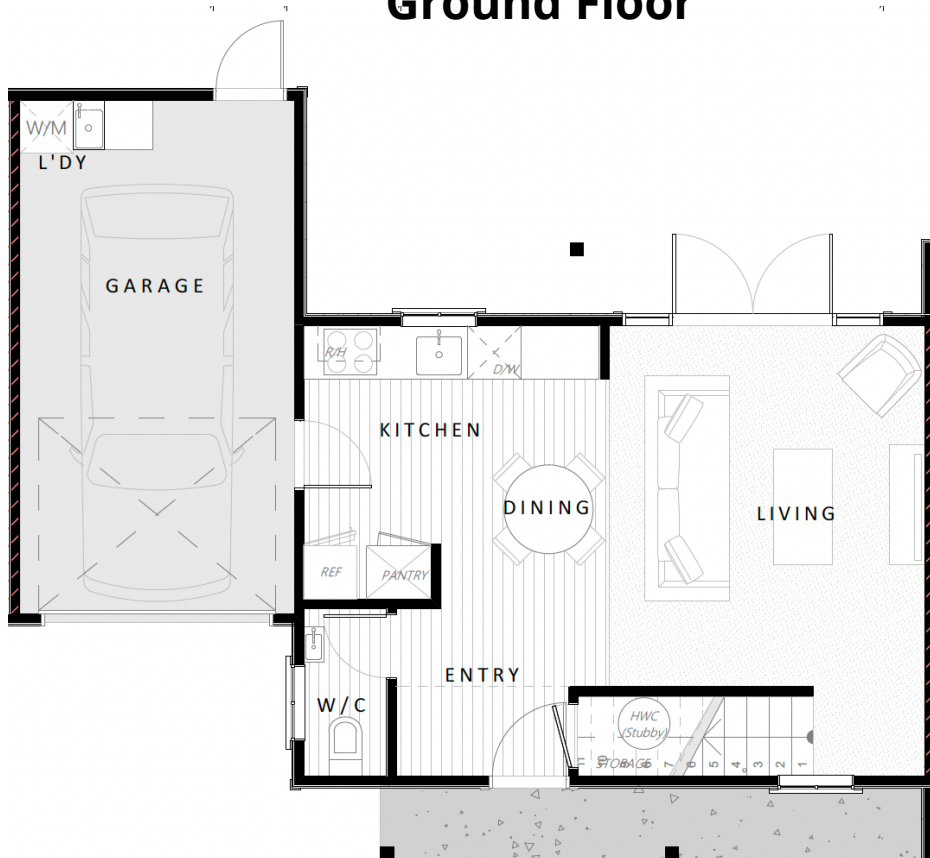


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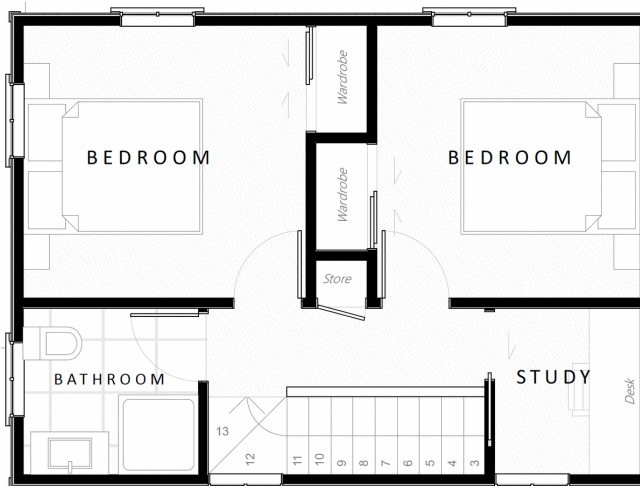
Design And Interior

These homes have a large open plan living, dining and kitchen with large french doors to the courtyard. Downstairs we have an under stair storage with the hot water cylinder as well as a downstairs toilet. Upstairs is 2 double bedrooms, a study and a bathroom.

Ground Floor



First Floor



BROOKSFIELD

Colours & Specifications

Exterior



Cladding Houses - Timber Weatherboard



Roof - Longrun roofing

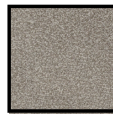


Doorhandle - Schlage S-6000 keyless entry

Interior



Walls - Clover Honey, 100% natural plant based paint



Carpet - 100% NZ Wool



Skirtings, ceilings & doors- Quarter Clover Honey, 100% Natural plant based paint



Bathroom Floor - Tile



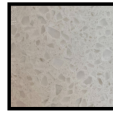
Bathroom Wall Tile



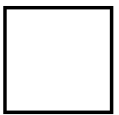
Kitchen Cabinets - French Country White



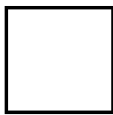
Entrance Floor Tile



Kitchen Bench - Stone - Coronet Peak



Roller Blinds - White - to all living areas



Splashback - Subway Tiles



Venetian Blinds - White - Bedrooms



Wool Insulation

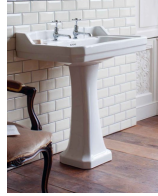
BROOKSFIELD

Plumbing & Electrical

Plumbing



Kitchen Mixer - Heritage Posh Canterbury - 4 Star water rating



Bathroom Vanity -Edwardian 61cm basin and standard pedestal



Toilets - Nova BTW



Shower mixer - Heritage Posh Canterbury



Downstairs W/C vanity



Showerhead & rail - Posh Domaine Brass Rail Shower



Bathroom mixers - Heritage Posh Canterbury, 4 star water rating



Heritage toilet roll holder



Mirror - English Classic 2 Door Mirror Unit



Heritage glass shower tray on tiles

Electrical



Heated towel rail - 400x600 Elan 20R



Plugs - Iconic Switchgear



Downlights - LED Switch downlight



Bathroom heater - Serene 2068 heater



Outdoor lights - Heritage

BROOKSFIELD

Appliances



Oven - Smeg Single Wall Oven



Rangehood - Applico Canopy Rangehood



Cook Top - Smeg 4 Zone Induction Cooktop



Dishwasher - Eurotech Single ED-SDC60SS



Heat Pump - Fujitsu - KW dependant on size to meet tanancy act



Laundry Tub - Extra Thick Steel Tub & Cabinet

BROOKSFIELD

BROOKSFIELD

– PROPERTY MANAGEMENT –



Rental Assessment - 62 Bletsoe Ave, Spreydon

31st August 2021



Modern Fixtures & Appliances

Neutral Colours

Landscaping

Set Out Over 2 levels

Thank you for the opportunity to provide a rental assessment on the property situated at 62 Bletsoe Ave.

After viewing the information supplied including photos, and research into current listings available, and recently rented, along with recent statistics, I believe a fair market rent would be between \$500 - \$525 unfurnished, for a long-term rental.

Please don't hesitate to make contact if you have any questions about the rent appraisal

Thanks

A handwritten signature in black ink that reads "Sue Banks".

Sue Banks

Senior Property Manager

Ph: 021 257 7882

Email: sue@brooksfeld.co.nz

DISCLAIMER: Please be advised that all rental estimates are based on the information provided at the time of the assessment, and take current market rent into consideration. Brookfield Property Management gives no guarantee as to the amount of rent that will be achieved. The market is the final arbiter.

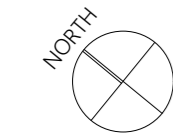
SHEET INDEX

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A004	LANDSCAPE PLAN
A100	FLOOR PLANS TOWNHOUSE 1-3
A101	FLOOR PLAN TOWNHOUSE 4
A200	SITE ELEVATIONS
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BROOKSFIELD
— HERITAGE —

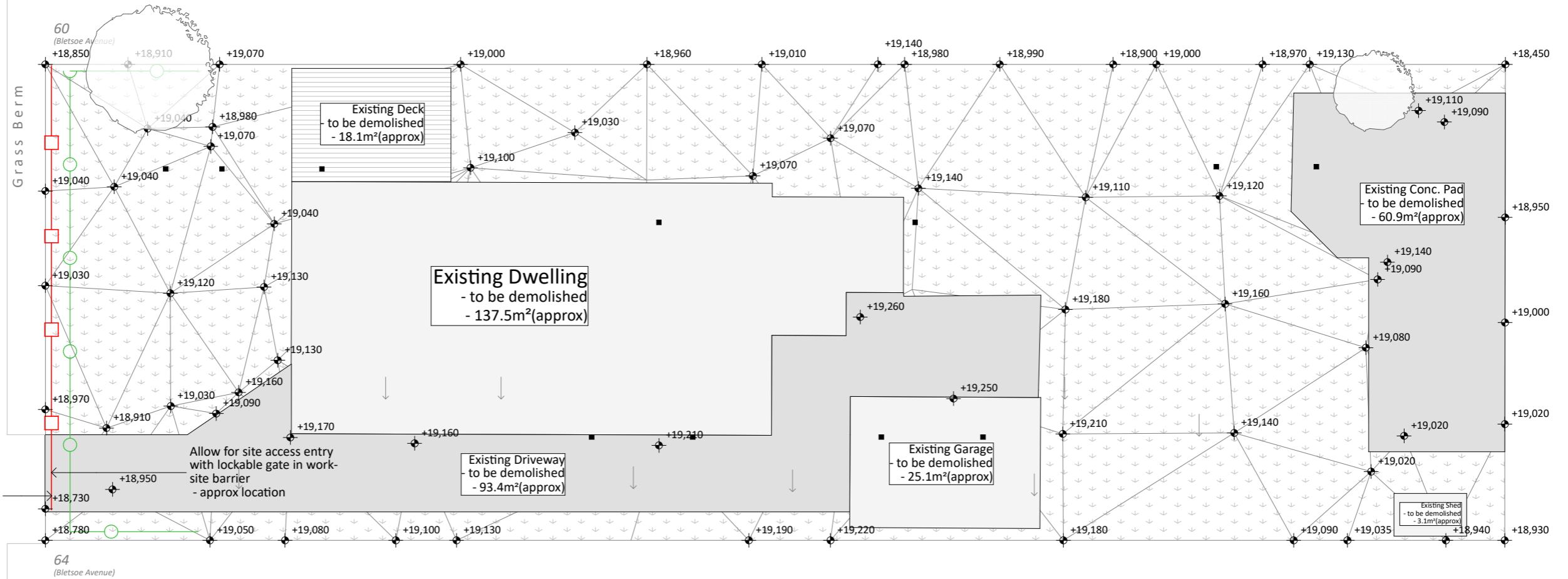
B l e t s o e A v e n u e T o w n h o u s e s
6 2 B l e t s o e A v e n u e , S p r e y d o n , C h r i s t c h u r c h



BLETSOE AVENUE

work-site barrier
- to be installed prior to
any siteworks commencing

Footpath
Grass Berm



0. EXISTING/SEDIMENT CONTROL PLAN
SCALE 1:150

SEDIMENT CONTROLS

Sediment controls to be taken during the construction process. To be read in conjunction with Environment Canterbury's "Erosion and Sediment Control Guideline 2007".

Provide stabilized entry pad & wash down area for contractor vehicles in accordance with ECAN sediment control for small sites.

A runoff diversion bund will be included in the site access way if required. All sediment on footpaths and roads to be removed as soon as practicable.

All sediment control measures & structures are to be installed prior to major earthworks and are to be checked and maintained daily as required.

All ground cover vegetation and trees outside the immediate building area to be preserved during the building phase.

Stockpiles (if any) to be covered with an impervious sheet.

Roof water downpipes to be connected to the permanent underground stormwater drainage system as soon as practical after the roof is laid.

Sediment control fence:
Refer to Figure 9 & 10 - From Environment Canterbury - Erosion and Sediment Control Guidelines for Small Sites Figure 9 & 10 pg 10



WORK-SITE BARRIERS

Work-site barriers to be installed in accordance with NZBC F5/AS1 Table 1, all work-site barriers to be erected prior to commencement of works.

Work-site Barrier:



Person responsible for implimentation and maintenance of sediment controls is:
Jimmy Turnbull (Project manager for Brooksefield Living)
Mobile: 021 241 5411
Email: jimmy@brooksefield.co.nz

Figure 3 Typical stabilised all-weather site access

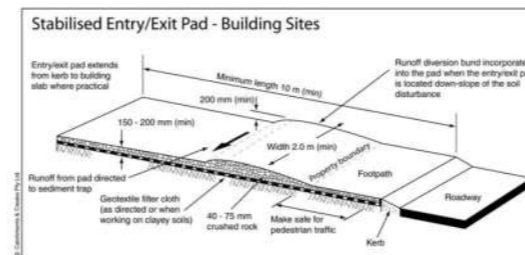
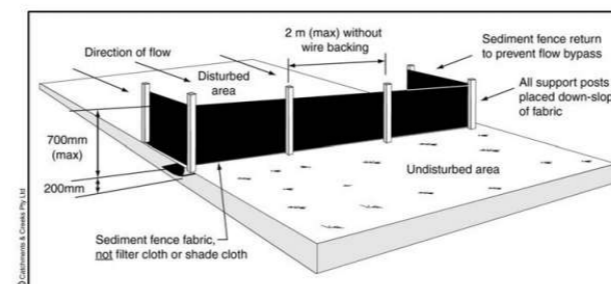


Figure 9 Sediment fence construction details



LEGEND - LEVELS

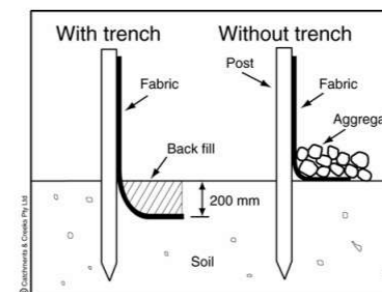
- ⊕ Proposed Finished Ground / Surface Level
- ⊕ Existing Ground Level

Note: Site Levels based on district plan supplied by Christchurch City Council 05/07/2021

Minimum FFL: No specific requirement (District plan/flood assesment)

Figure 10

Alternative sediment fence installations (with and without a trench)



BROOKSFIELD
HERITAGE

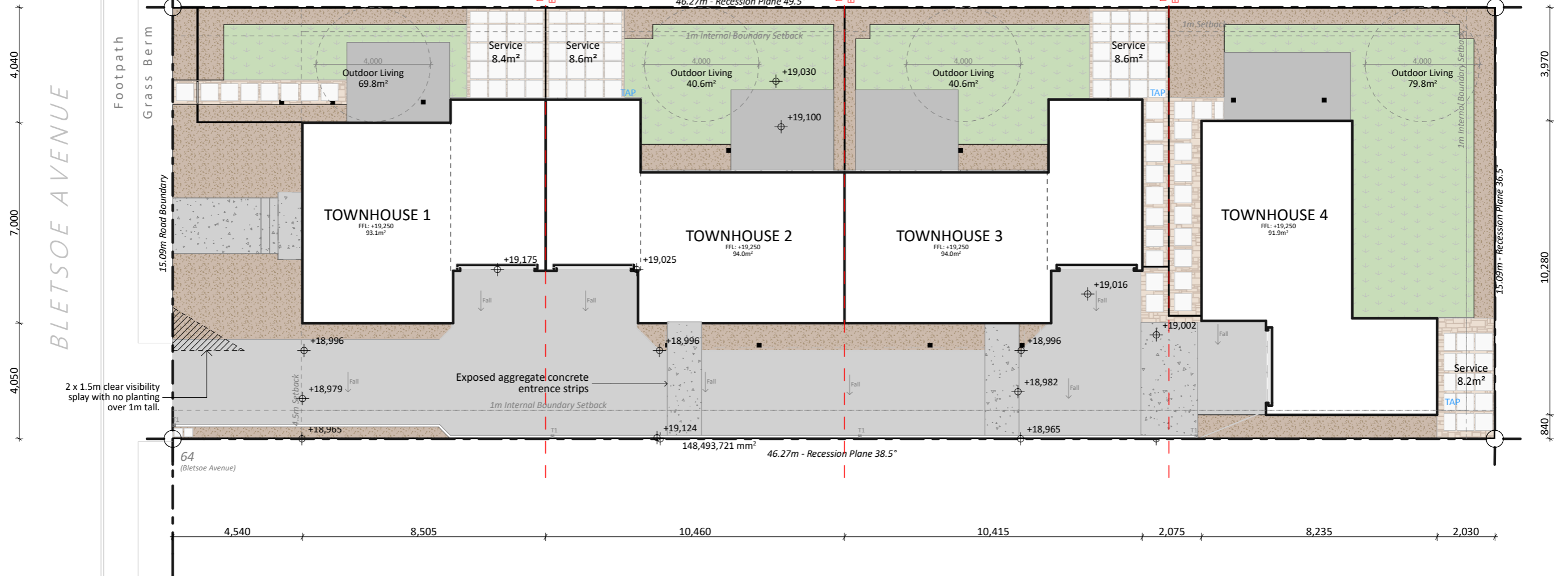
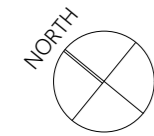
PROJECT NAME
Bletsoe Avenue Townhouses
Scale 1:150 @ A3
Date 13/08/2021

PROJECT ADDRESS
62 Bletsoe Avenue
Spraydon
Christchurch

DRAWING NO. REVISION

A001 A

DRAWING NO.
EXISTING/SEDIMENT
CONTROL PLAN



0. SITE PLAN
SCALE 1:150

PROJECT INFO:

Address: 62 Bletsoe Avenue
Spreydon
Christchurch

Legal Description: Lot 29 DP 3577

Title: CB22B/1339

Site Area: 698m²

Planning Zone: Residential Suburban Density
Transition Zone

Natural Hazards: Liquefaction Management Area

Wind Zone: High (BRANZ Map)

Earthquake Zone: 2 (BRANZ Map)

Exposure Zone: C (BRANZ Map)

Sea Spray Zone: No

Climate Zone: 3 (BRANZ Map)

Land Zone: TC2

SITE PLAN LEGEND

- Boundary Line
- Boundary setback as per TA District Plan
- BUILDINGS / PROPOSED BUILDINGS
- Driveway / Paved Area
- Exposed aggregate concrete, 100mm slab with SE62 reinforcing on AP40 Grade engineering fill compacted in 150mm layers - 1:100min falls as shown, typically away from dwelling - finish to have slip resistance to comply with NZBC D1/AS1

PROJECT FIGURES:

Gross Floor Area: Unit 1 - 91.8m² (56.0m² over slab)
Unit 2 - 94.0m² (57.1m² over slab)
Unit 3 - 94.0m² (57.1m² over slab)
Unit 4 - 93.1m² (56.8m² over slab)
Total - 372.9m² (226.5m² over slab)

Site Coverage: 32.5%

Net Floor Area: (from internal wall)
Unit 1 - 86.7m²
Unit 2 - 88.6m²
Unit 3 - 88.6m²
Unit 4 - 87.6m²

SITE PLAN GENERAL NOTES

Contractor to confirm all dimensions on site.

All drawings to be read in conjunction with engineering/consultants documentation.

Confirm all existing services on site.

Contractor to confirm with designer if there is a conflict between consultant documentation and accepts liability for decisions made without consultation.

All unpaved areas are to be a minimum of 225mm below Finished Floor Level. Paved areas to be a minimum of 150mm.

Sediment controls to be taken during the construction process. To be read in conjunction with Environment Canterbury's "Erosion and Sediment Control Guideline 2007".

Provide stabilized entry pad & wash down area for contractor vehicles in accordance with ECAN sediment control for small sites.

A runoff diversion bund will be included in the site access way if required. sediment on footpaths and roads will be removed as soon as practicable.

All sediment control measures & structures are to be installed prior to major earthworks and are to be checked and maintained every day.

Stockpiles to be covered with impervious sheet.

Excavated topsoil is to be spread around the site and flatted where possible. The rest is to be removed from site. While stored on site all soil is to be covered with impervious sheet.

Contractor to install temporary site fences (max 1800mm high from FGL) and lockable gates during the construction period to comply with F5/AS1.

LEGEND - LEVELS

- Proposed Finished Ground / Surface Level
- Existing Ground Level

Note: Site Levels based on district plan supplied by Christchurch City Council 05/07/2021

Minimum FFL: No specific requirement (District plan/flood assesment)

BROOKSFIELD
HERITAGE

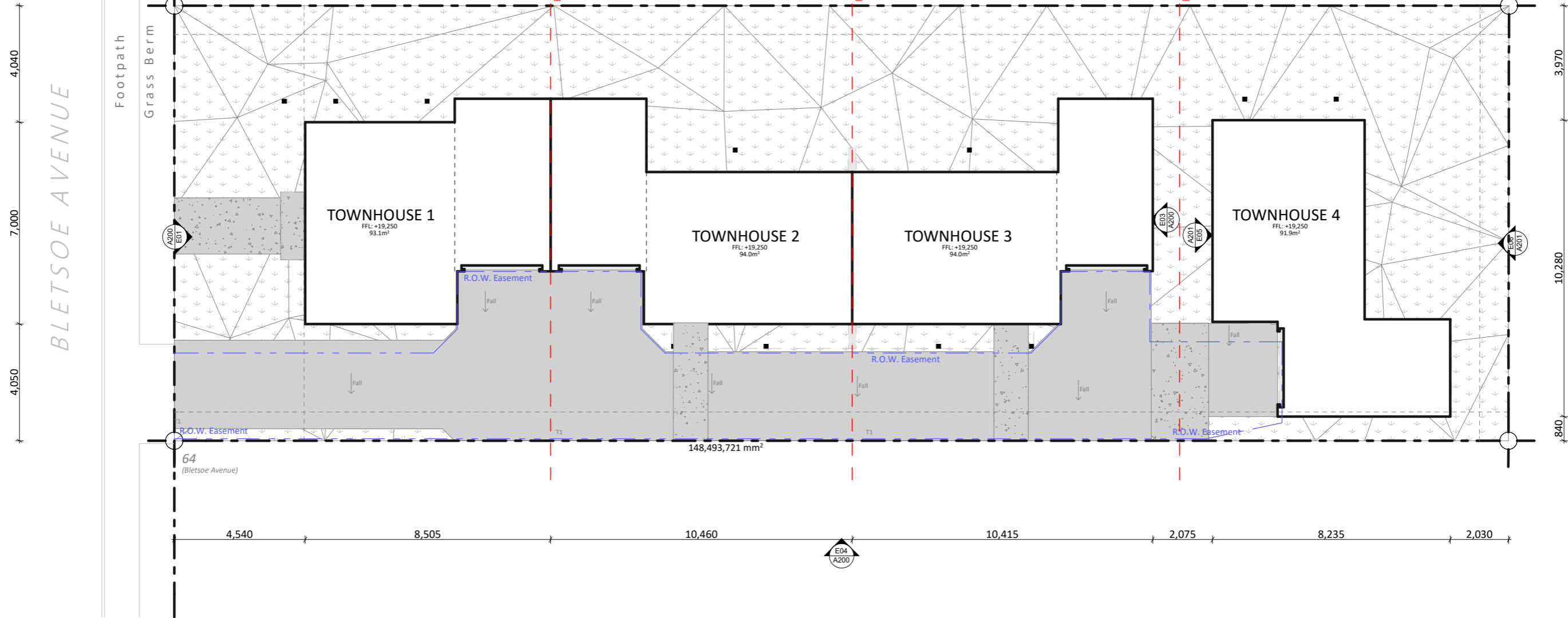
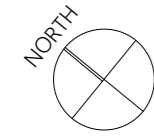
PROJECT NAME
Bletsoe Avenue Townhouses
Scale 1:150 @ A3
Date 13/08/2021

PROJECT ADDRESS
62 Bletsoe Avenue
Spreydon
Christchurch

DRAWING NO. REVISION

A002 A

DRAWING NO.
SITE PLAN



0. SITE BOUNDARY PLAN
SCALE 1:150

SITE BOUNDARY PLAN LEGEND

- - - Property/Notional Boundary Line
- R.O.W. Easement
- Vegetation/Landscaping

Surveyor to confirm property areas and boundary lines at time of subdivision consent

TOWNHOUSE 1:

Ground Floor Area: 56.8m²
 First Floor Area: 36.3m²
 Total Floor Area: 93.1m²

Property Area: TBCm²

TOWNHOUSE 2:

Ground Floor Area: 57.1m²
 First Floor Area: 36.9m²
 Total Floor Area: 94.0m²

Property Area: TBCm²

TOWNHOUSE 3:

Ground Floor Area: 57.1m²
 First Floor Area: 36.9m²
 Total Floor Area: 94.0m²

Property Area: TBCm²

TOWNHOUSE 4:

Ground Floor Area: 56.5m²
 First Floor Area: 35.4m²
 Total Floor Area: 91.9m²

Property Area: TBCm²

NOTES:
 -ALL WORK SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE BUILDING CONSENT AND ANY RESOURCE CONSENTS ISSUED FOR THIS PROJECT.
 -ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS AND VICE VERSA.
 -ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE AND ALL RELEVANT AND ASSOCIATED STANDARDS, CODES AND TERRITORIAL AUTHORITY BYLAWS.
 -ALL PROPRIETARY ITEMS AND MATERIALS SHALL BE FIXED, INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

- ALL CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING WORK OR ORDERING MATERIALS.
 -SITE LEVELS SHOWN ARE AS EXISTING. REFER TO SURVEYOR FOR ACCURATE SITE PLAN DIMENSIONS. A REGISTERED SURVEYOR IS TO SET OUT THE BUILDING BEFORE CONSTRUCTION COMMENCES.
 -ANY DISCREPANCIES OR AMBIGUITY SHALL BE CLARIFIED WITH DESIGN WORKSHOP BEFORE ANY FURTHER WORK COMMENCE
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Design Workshop Architecture.

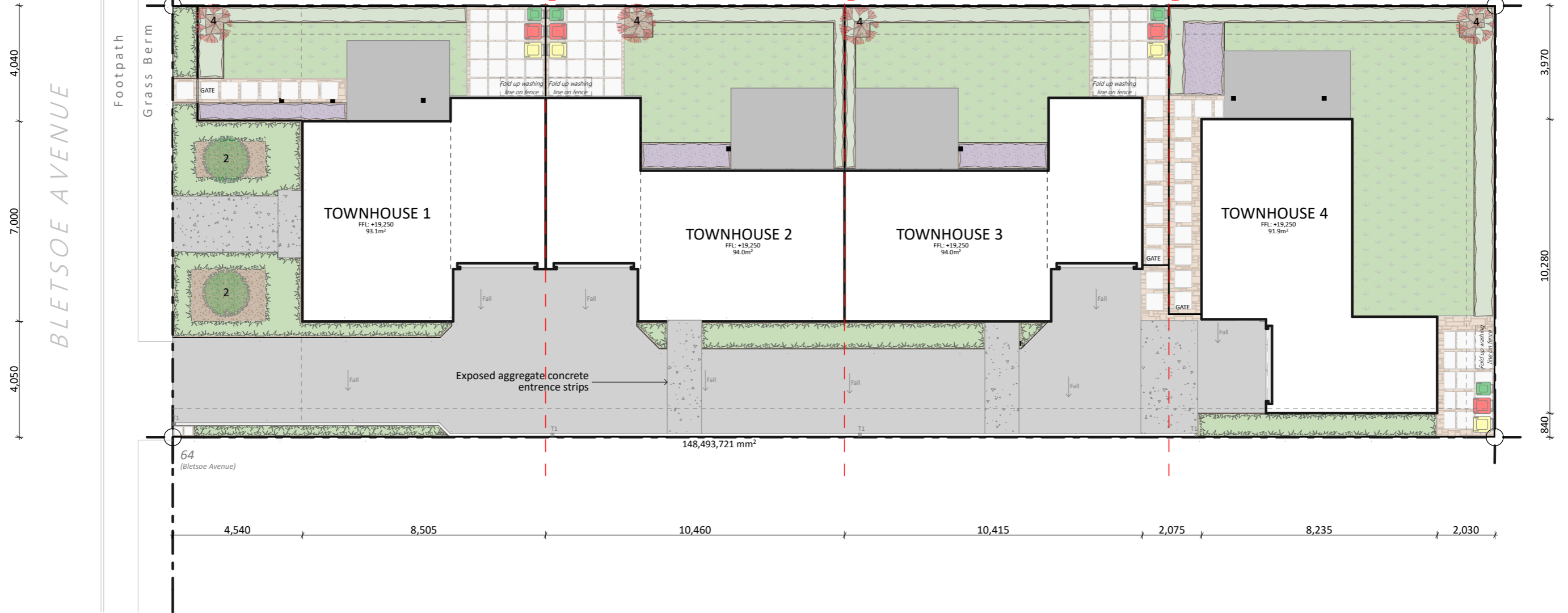
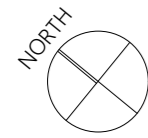
www.dwa.co.nz | team@dwa.co.nz | 4/1008 Ferry Road, Ferrymead, Christchurch

ISSUE	REV	DATE
Truss Design Issue	A	02/08/2021

CLIENT	BROOKSFIELD LIVING
PROJECT NAME	Bletsoe Avenue Townhouses
PROJECT ADDRESS	62 Bletsoe Avenue Spraydon Christchurch

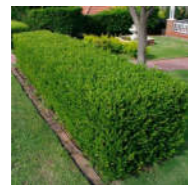
CONSULTANTS	Engco Ltd Coffeys Geotech
DRAWING NO.	SITE BOUNDARY PLAN

SCALE	1:150 @ A3
DATE	13/08/2021
JOB NO.	1283
DRAWN	MH+DH
CHECKED	DWA
DRAWING NO.	A003
REVISION	A

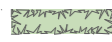


0. LANDSCAPING PLAN
SCALE 1:150

PLANT LEGEND



TYPE 1 - BOX HEDGE
"Buxus sempervirens"



TYPE 2 - JAPANESE MAPLE
"Acer palmatum"



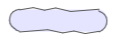
TYPE 3 - GRISELINIA LITTORALIS HEDGE
"Broadway Mint"



TYPE 4 - CHERRY TREE
"Prunus 'Accolade'"



TYPE 5 FLOWER MIX
Hydrangea, Lavender,
and selected flowering plants



Impervious Areas: 149.6m² (driveway)
226.5m² (buildings over slab)
Total - 376.1m²

Impervious Cover: 53.9%

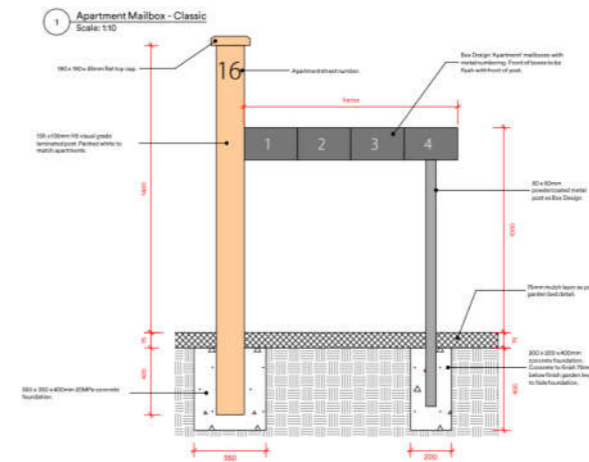
Landscaping Area: 208.3 m² (29.8%)
Planting Area: 102.0m² (14.6%)

Earthworks: 44.12m³ (Volume)
Drives: 29.14m³ Fill (92.9m² x 0.3m depth)
1.27m³ Fill (12.7m² x 0.1m depth)
Patios: (excluding the building foundations including a 1.8m perimeter)

LANDSCAPE LEGEND

- Grass / lawn Area
- Planting Area
- refer to Landscape Plan for detail
- Lime Area
- lime chip finished
- Paver
- 600x600 concrete pavers
- Patio
- formed with 100mm concrete slab

Notes:
- All Trees to be 1.5m (min) height at time of planting
- Planting beds to be medium bark chip finished
- Landscaping areas to be 50% trees, 50% shrubs



BROOKSFIELD
HERITAGE

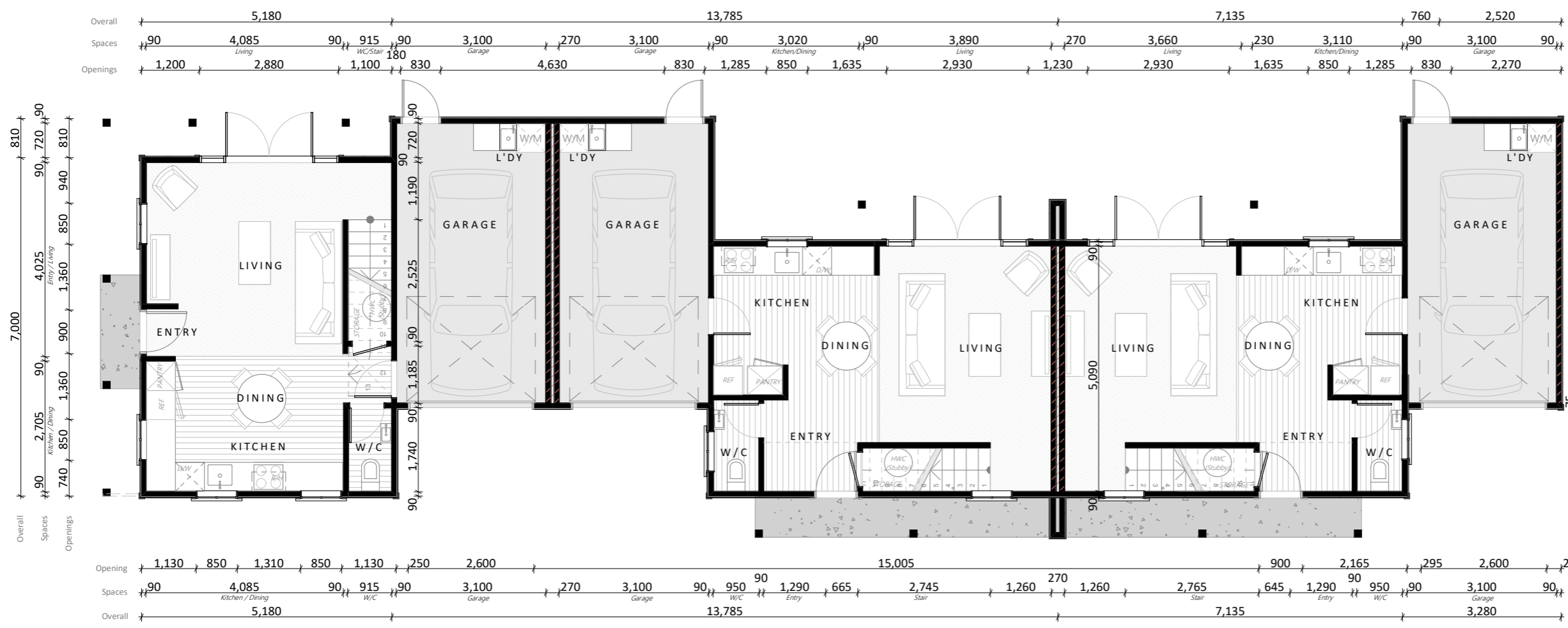
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Scale 1:150 @ A3
Date 13/08/2021

PROJECT ADDRESS
62 Bletsoe Avenue
Spraydon
Christchurch

DRAWING NO. REVISION

A004 A

DRAWING NO.
LANDSCAPE PLAN



- LEGEND - WALLS**
- 90mm Timber Framed wall (external wall)
 - 10mm GIB Board internal lining
 - 20mm drained cavity
 - Southern Pine Bevelback weatherboard
 - 90mm Timber Framed wall (internal wall)
 - 10mm GIB Board internal lining both sides
 - Resene Constructions Systems INTA120b Intertency System installed to manufacturers specifications
 - 90mm Timber Framed wall (external wall)
 - 10mm GIB Fyrelite internal lining
 - 20mm drained cavity
 - Covertek 403 wall wrap
 - James Hardie Linea weatherboard - JHETGL30
 - Studs @400c/c, dwangs@800c/c

TOWNHOUSE 1

TOWNHOUSE 2

TOWNHOUSE 3

1. GROUND FLOOR PLAN
SCALE 1:100



TOWNHOUSE 1

TOWNHOUSE 2

TOWNHOUSE 3

2. FIRST FLOOR PLAN
SCALE 1:100

BROOKSFIELD
HERITAGE

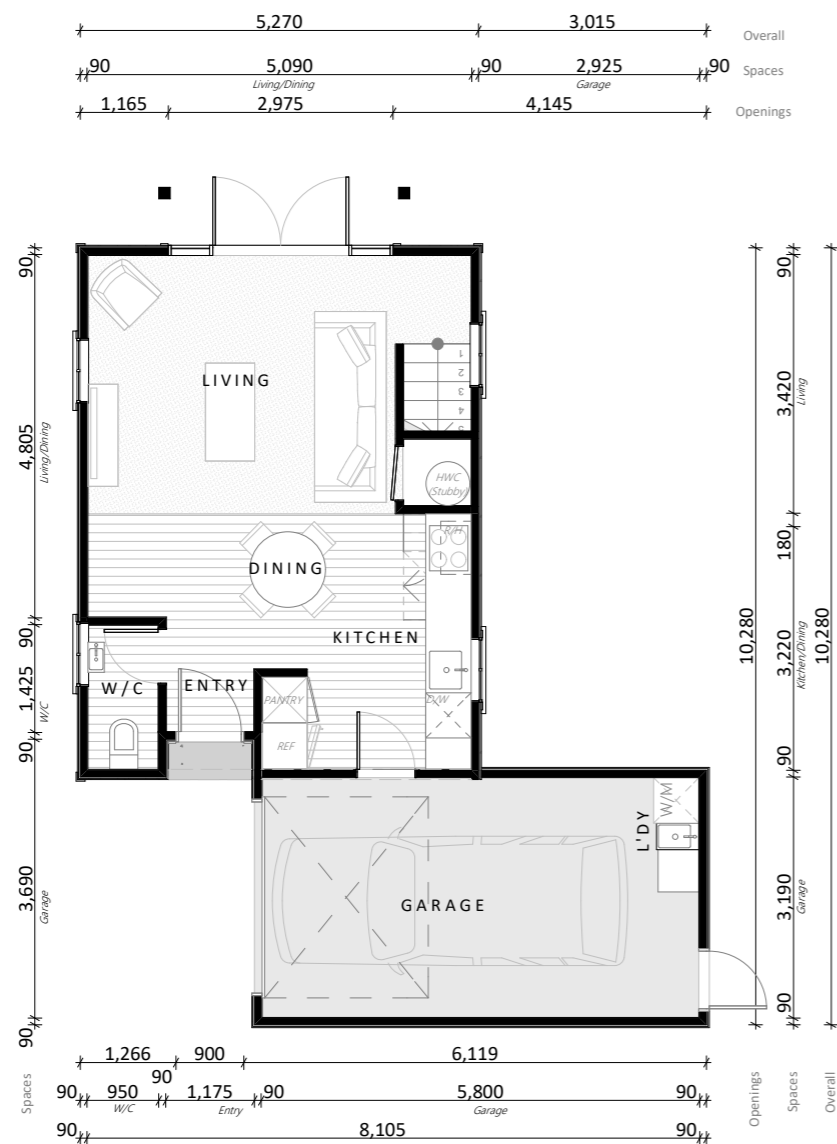
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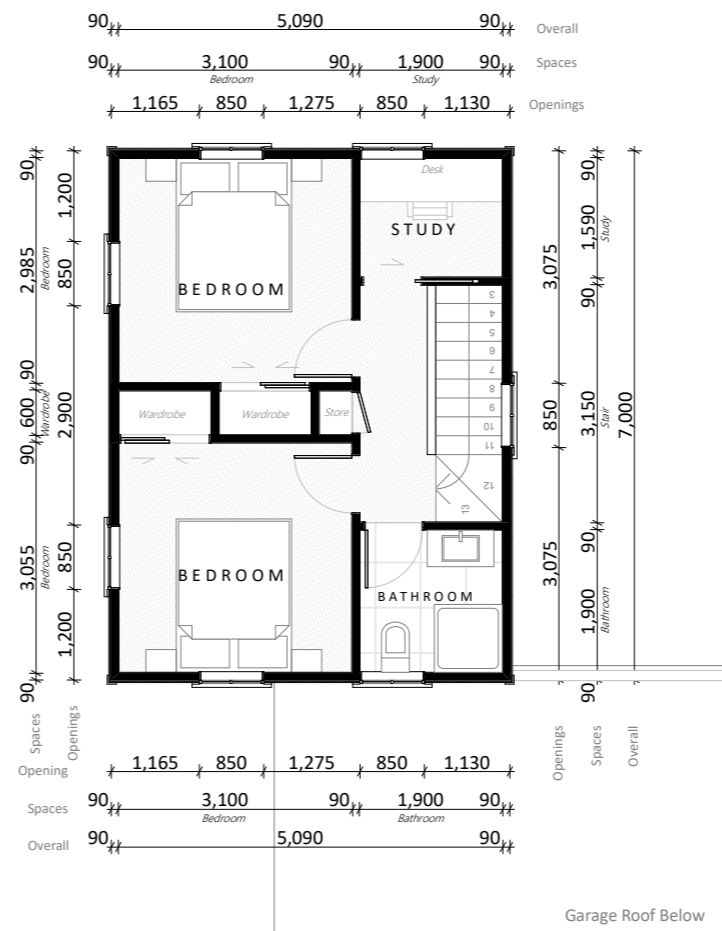
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DRAWING NO.
FLOOR PLANS
TOWNHOUSE 1-3







1. GROUND FLOOR PLAN
SCALE 1:100

TOWNHOUSE 4



2. FIRST FLOOR PLAN
SCALE 1:100

TOWNHOUSE 4

- LEGEND - WALLS**
-  90mm Timber Framed wall (external wall)
- 10mm GIB Board internal lining
- 20mm drained cavity
- Southern Pine Bevelback weatherboard
 -  90mm Timber Framed wall (internal wall)
- 10mm GIB Board internal lining both sides
 -  Resene Constructions Systems INTA120b Intertency System installed to manufacturers specifications
 -  90mm Timber Framed wall (external wall)
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BROOKSFIELD
HERITAGE

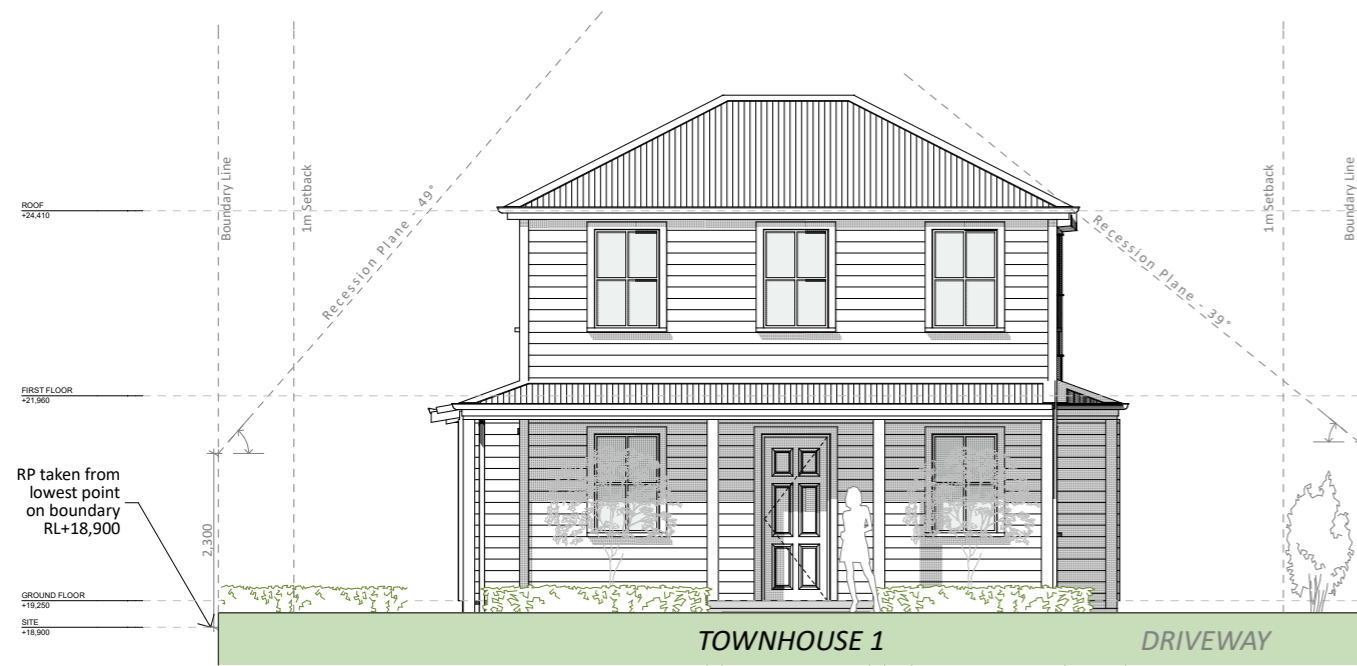
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Scale 1:100 @ A3
Date 13/08/2021

PROJECT ADDRESS
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Spreydon
Christchurch

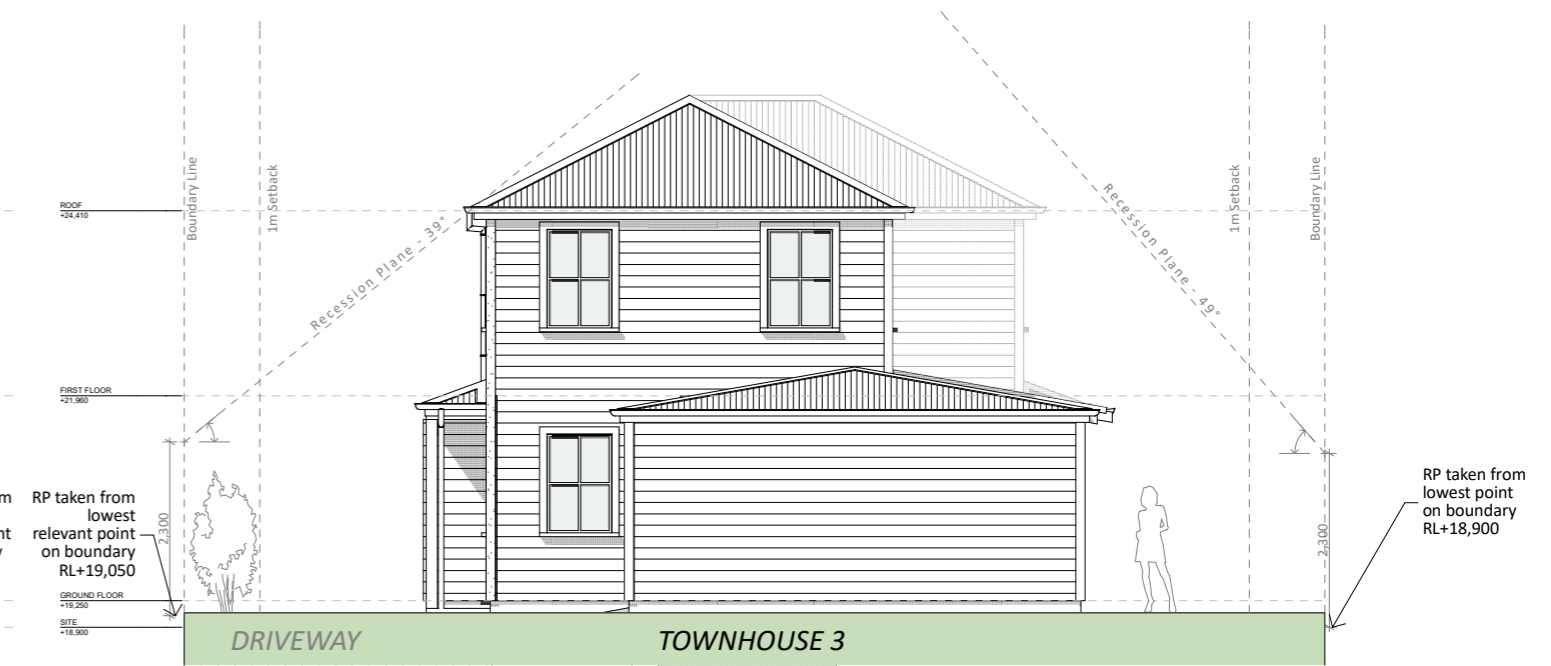
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A101 A

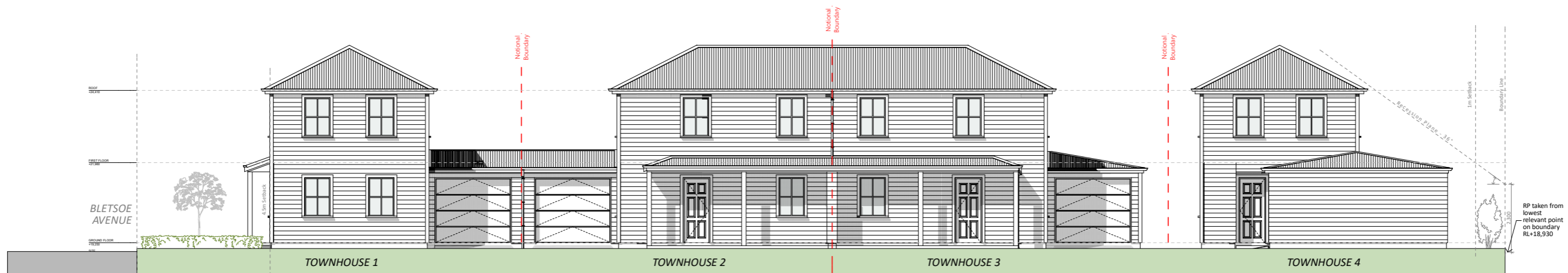
DRAWING NO.
FLOOR PLAN
TOWNHOUSE 4



E01 NORTH ELEVATION TH 1-3
SCALE 1:100



E03 SOUTH ELEVATION TH 1-3
SCALE 1:100



E02 WEST ELEVATION
SCALE 1:150

LEGEND

Roof

- Dimond Corrugate (0.4mm BMT) Colorsteel Endura roof cladding over Thermakraft Covertek roof underlay
- Colour to be Coloursteel white
- Confirm with Brookfield Living before ordering.

Horizontal Weatherboard

- Southern Pine Bevelback Weatherboard BB 180 installed as per manufacturers specifications on 20mm drained cavity system over building wrap.
- Colour to be Resene Black White
- Confirm with Brookfield Living before ordering.

NOTES

Gutter

- Gutter with finish to match roofing fixed to fascia.
- Falls as shown on roof plan

Downpipes

- Downpipes to be 80Ø, finish & colour to match roofing (UNO)

Joinery

- APL powder coated aluminium exterior doors in selected finish and Sierra Pacific uPVC windows
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

- Fascia, window trims, facings and entry post
- Colour to be Resene Half Merino
- Confirm with Brookfield Living before ordering

BROOKSFIELD
HERITAGE

PROJECT NAME

Bletsoe Avenue Townhouses

Scale 1:100, 1:150

Date 13/08/2024

PROJECT ADDRESS

62 Bletsoe Avenue

Spreydon

Christchurch

DRAWING NO.

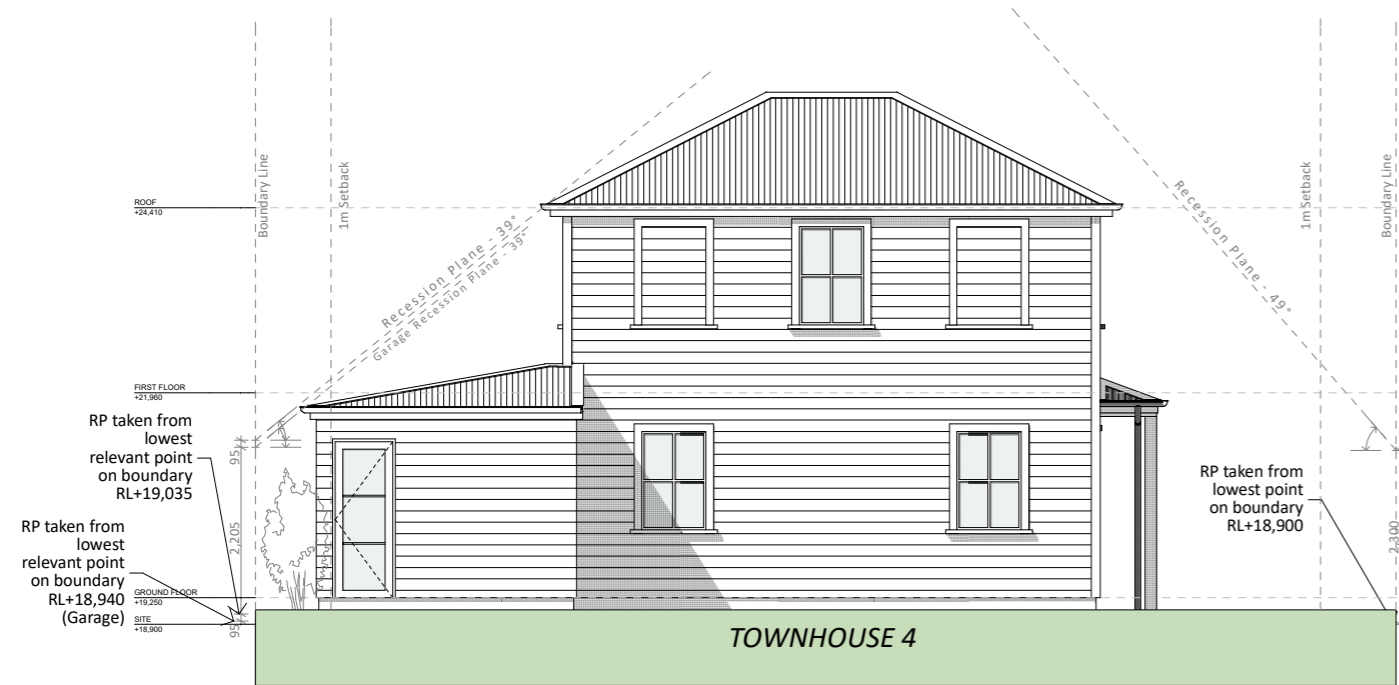
A200

REVISION

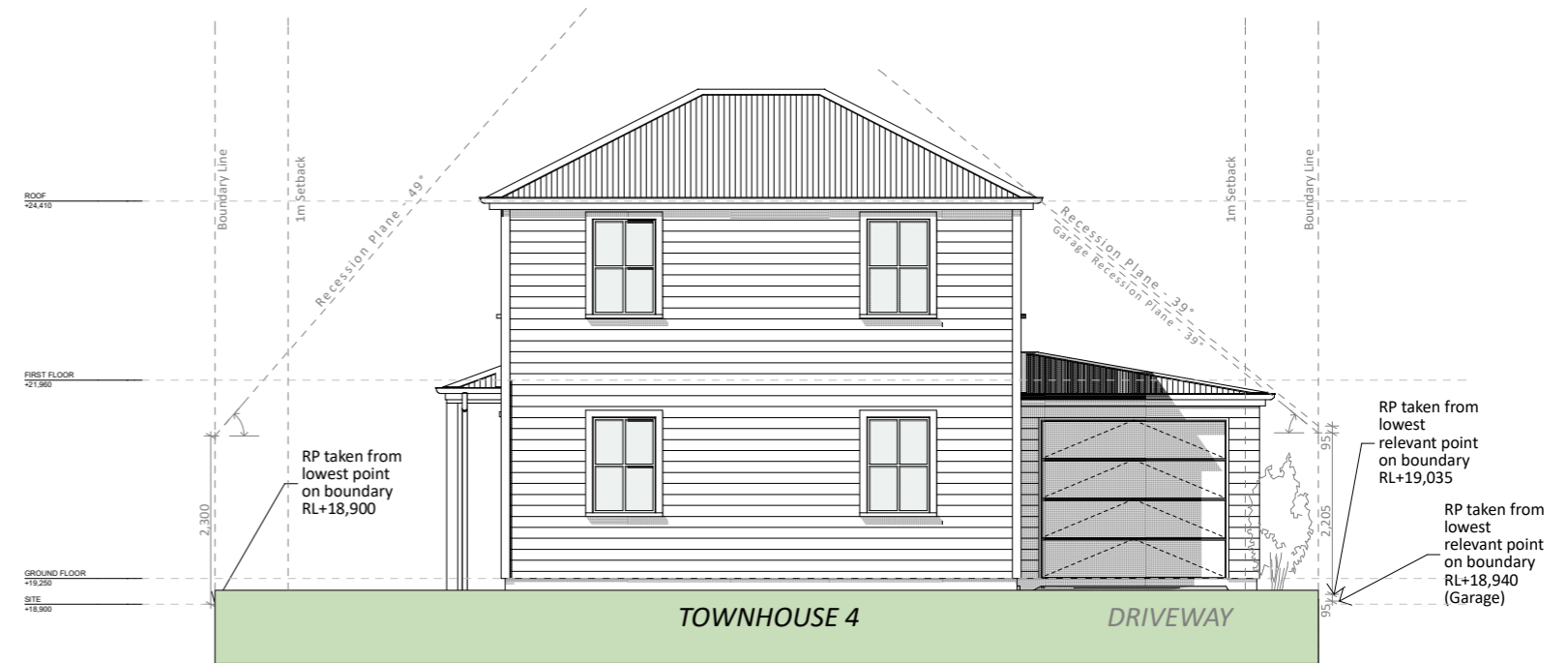
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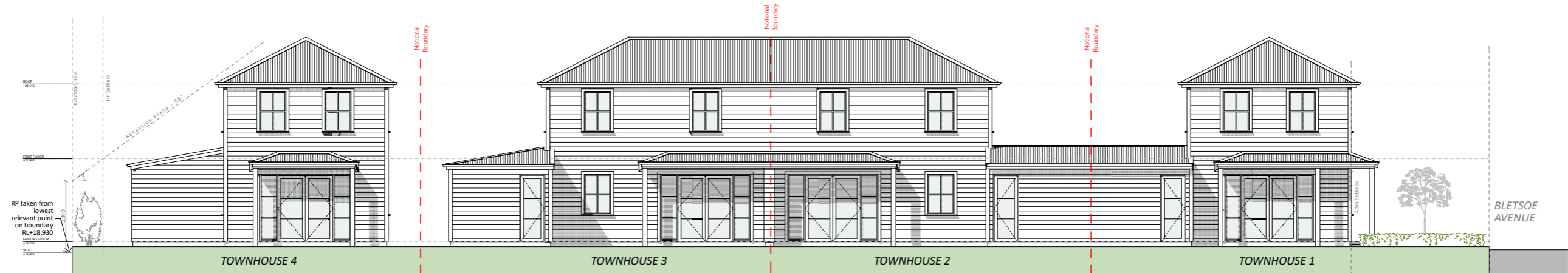
SITE ELEVATIONS



E06 SOUTH ELEVATION TH 4
SCALE 1:100



E05 NORTH ELEVATION TH 4
SCALE 1:100



E04 EAST ELEVATION
SCALE 1:150

LEGEND

Roof

- Dimond Corrugate (0.4mm BMT) Coloursteel Endura roof cladding over Thermakraft Covertex underlay
- Colour to be Coloursteel white
- Confirm with Brookfield Living before ordering.

Horizontal Weatherboard

- Southern Pine Bevelback Weatherboard BB 180 installed as per manufacturers specifications on 20mm drained cavity system over building wrap.
- Colour to be Resene Black White
- Confirm with Brookfield Living before ordering.

NOTES

Gutter

- Gutter with finish to match roofing fixed to fascia.
- Falls as shown on roof plan

Downpipes

- Downpipes to be 80Ø, finish & colour to match roofing (UNO)

Joinery

- APL powder coated aluminium exterior doors in selected finish and Sierra Pacific uPVC windows
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

- Fascia, window trims, facings and entry post
- Colour to be Resene Half Merino
- Confirm with Brookfield Living before ordering

BROOKSFIELD
HERITAGE

PROJECT NAME

Bletsoe Avenue Townhouses

Scale 1:150, 1:100

Date 13/08/2023

PROJECT ADDRESS

62 Bletsoe Avenue

Spreydon

Christchurch

DRAWING NO.

REVISION

A201

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DRAWING NO.

SITE ELEVATIONS

Price List

House	Bedrooms	Bathrooms	Carparks	House Size	Price
House 1	2 + Study	1.5	Single Garage	94m2	\$689,000.00
House 2	2 + Study	1.5	Single Garage	94m2	\$689,000.00
House 3	2 + Study	1.5	Single Garage	94m2	\$689,000.00
House 4	2 + Study	1.5	Single Garage	92m2	\$689,000.00

Expected Start

January 2022

Expected Completion

July 2022

Title Type

Fee Simple

All prices include a full turnkey property, meaning it includes everything ready to move into on settlement.



BROOKSFIELD