

# 62 Milton Street, Somerfield, Christchurch City

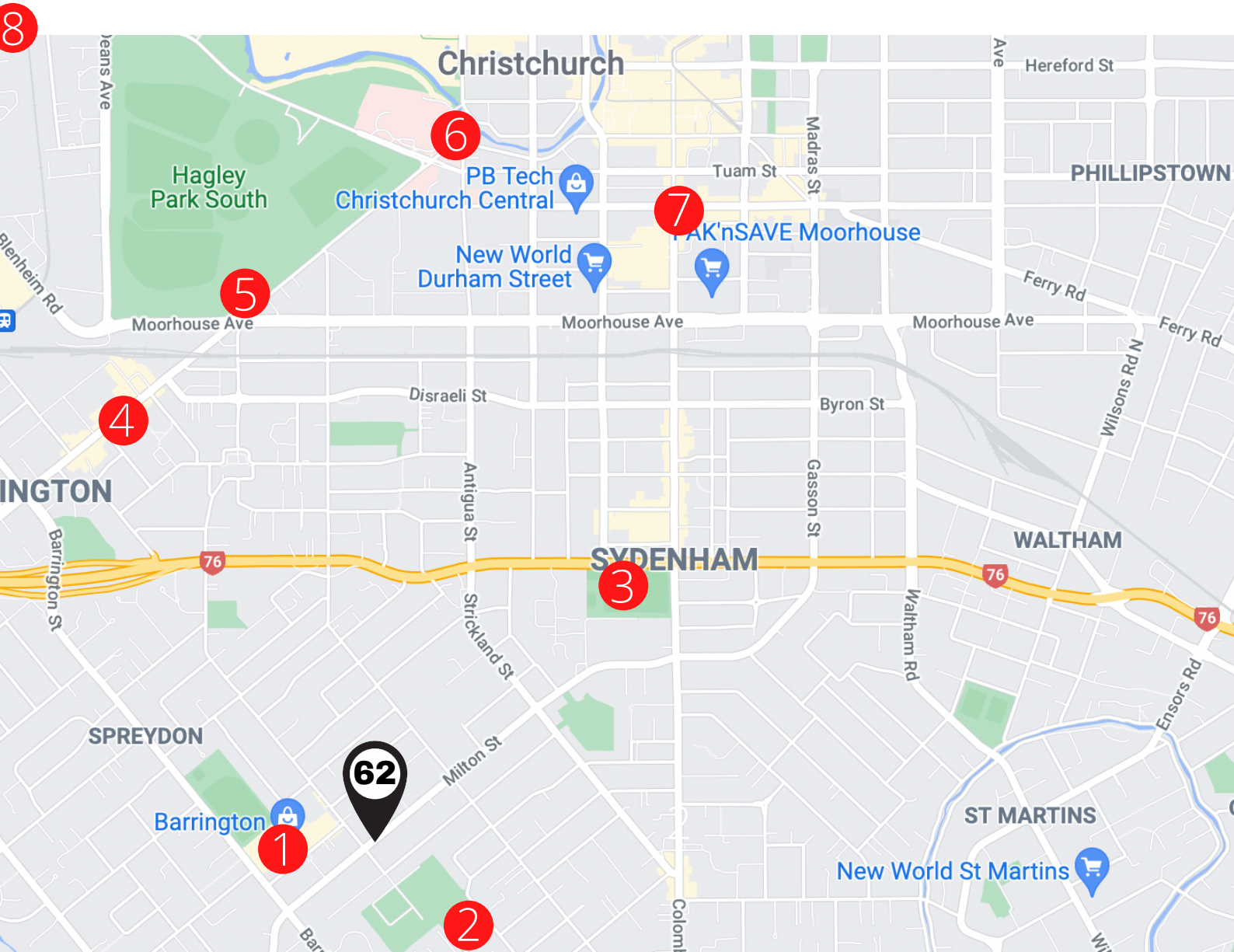
Brooksfield Heritage



BROOKSFIELD

# Location

These Brookfield heritage homes are located on Milton Street, situated only a short distance from Somerfield park and the Barrington shopping complex with an easy commute into the City Centre. Below are some of our favourite spots close to your next Home or Investment Property.



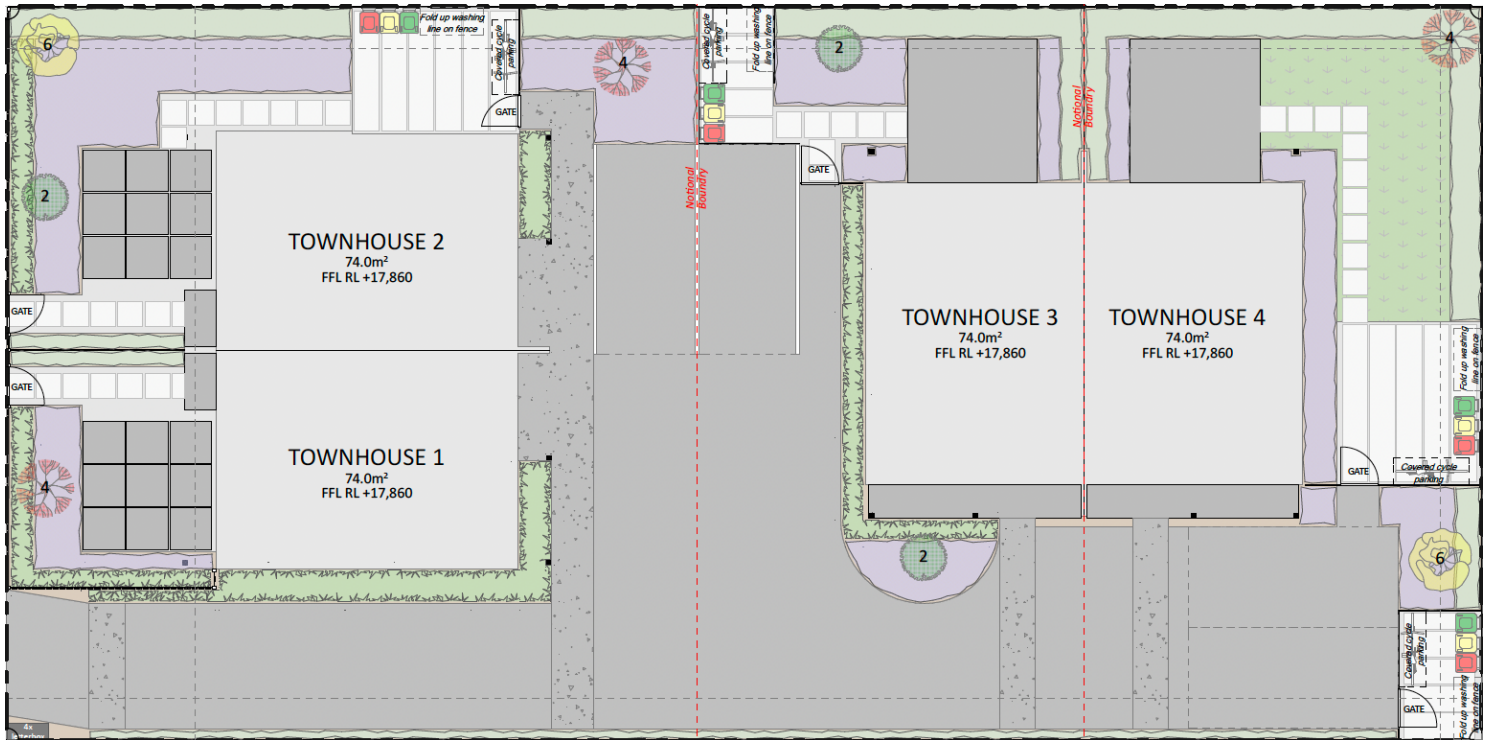
- 1 Barrington shopping Complex (200m)
- 2 Somerfield Park (300m)
- 3 Sydenham Park (1km)
- 4 Addington Shops (2.4km)
- 5 Hagley Park (2.3km)
- 6 Hospital (2.8km)
- 7 City Centre (3km)
- 8 Airport (13km, 15mins)

BROOKSFIELD

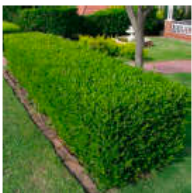


# Layout

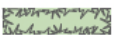
These 4 homes are thoughtfully laid out and designed with ample space. Each home comes with a large patio and garden area facing to the north. These homes come with established planting that include Cheery trees lining the street frontage, box hedging, maple and Kowhai trees to attract the birds and plenty of under planting.



## PLANT LEGEND



TYPE 1 - BOX HEDGE  
"Buxus sempervirens"



TYPE 2 - JAPANESE MAPLE  
"Acer palmatum"



TYPE 3 - GRISELINIA LITTORALIS HEDGE  
"Broadway Mint"



TYPE 4 - CHERRY TREE  
"Prunus 'Accolade'"



TYPE 5 - FLOWER MIX  
Hydrangea, Lavender,  
and selected flowering plants



TYPE 6 - KOWHAI TREE  
"Sophora microphylla"




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# Design And Interior

These homes are entered through a heritage verandah into an open plan living/dining/kitchen. Downstairs a sunny kitchen dining and lounge, opening out to a sunny and secured outdoor living area. Under the stairs is a laundry cupboard with storage. Upstairs is two double bedrooms, a bathroom and study.

2 

1 

1.5 

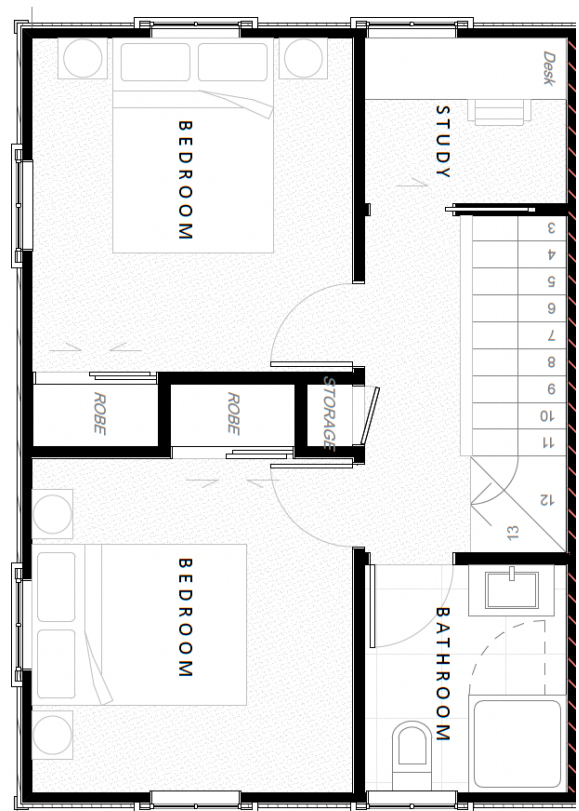
Floor Area m2

74

## Ground Floor



## First Floor



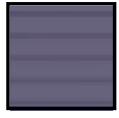
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# Colours & Specifications

(Homes 1 - 3)

## Exterior



Cladding Houses - Timber Weatherboard



Roof - Longrun roofing

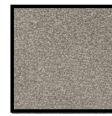


Doorhandle - Schlage S-6000 keyless entry

## Interior



Walls - Clover Honey, 100% natural plant based paint



Carpet - 100% NZ Wool



Skirtings, ceilings & doors- Quarter Clover Honey, 100% Natural plant based paint



Bathroom Floor - Tile



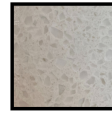
Bathroom Wall Tile



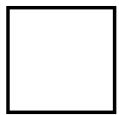
Kitchen Cabinets - French Country White



Entrance Floor Tile



Kitchen Bench - Stone - Coronet Peak



Roller Blinds - White - to all living areas



Splashback - Subway Tiles



Venetian Blinds - White - Bedrooms



Wool Insulation

BROOKSFIELD

# Plumbing & Electrical

## Plumbing



Kitchen Mixer - Heritage Posh Canterbury - 4 Star water rating



Bathroom Vanity - Edwardian 61cm basin and standard pedestal



Toilets - Nova BTW



Shower mixer - Heritage Posh Canterbury



Downstairs W/C vanity



Showerhead & rail - Posh Domaine Brass Rail Shower



Bathroom mixers - Heritage Posh Canterbury, 4 star water rating



Heritage toilet roll holder



Mirror - English Classic 2 Door Mirror Unit

## Electrical



Heated towel rail - 400x600 Elan 20R



Plugs - Iconic Switchgear



Downlights - LED Switch downlight



Bathroom heater - Serene 2068 heater



Outdoor lights - Heritage

BROOKSFIELD



# Appliances



Oven - Smeg Single Wall Oven



Rangehood - Applico Canopy Rangehood



Cook Top - Smeg 4 Zone Induction Cooktop



Dishwasher - Eurotech Single ED-SDC60SS



Heat Pump - Fujitsu - KW dependant on size to meet tanancy act

BROOKSFIELD

**SHEET INDEX**

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**BROOKSFIELD**  
— HERITAGE —

**Milton Street Townhouses**  
62 Milton Street, Spreydon, Christchurch



# BROOKSFIELD

– PROPERTY MANAGEMENT –



Rental Assessment - 62 Milton St, Somerfield

20th October 2021



Modern Fixtures & Appliances

Neutral Colours

Landscaping

Set Out Over 2 levels

Thank you for the opportunity to provide a rental assessment on the property situated at 62 Milton St.

After viewing the information supplied including photos, and research into current listings available, and recently rented, along with recent statistics, I believe a fair market rent would be between \$485 - \$505 unfurnished, for a long-term rental.

Please don't hesitate to make contact if you have any questions about the rent appraisal

Thanks

A handwritten signature in black ink that reads "Sue Banks".

Sue Banks

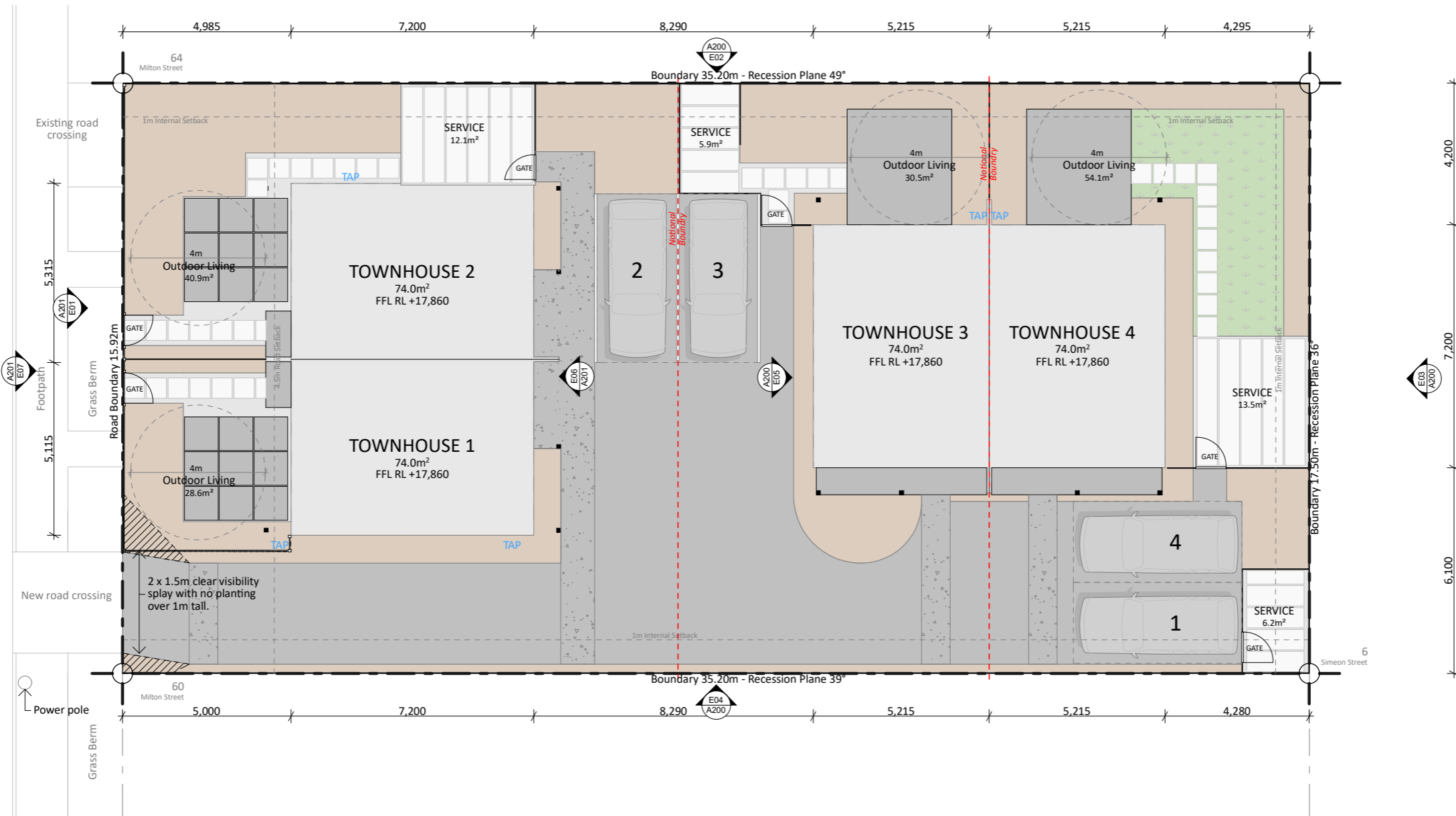
Senior Property Manager

Ph: 021 257 7882

Email: [sue@brooksfeld.co.nz](mailto:sue@brooksfeld.co.nz)

DISCLAIMER: Please be advised that all rental estimates are based on the information provided at the time of the assessment, and take current market rent into consideration. Brookfield Property Management gives no guarantee as to the amount of rent that will be achieved. The market is the final arbiter.

MILTON STREET



**0. SITE PLAN**  
SCALE 1:150

**PROJECT INFO:**

Address: 62 Milton Street  
Spreydon  
Christchurch

Legal Description: Lot 2 DP 12908

Title: CB500/163

Site Area: 617m<sup>2</sup>

Planning Zone: Residential Density Transition Zone

Natural Hazards: Liquification Management Area

Wind Zone: Low (BRANZ Map)

Earthquake Zone: 2 (BRANZ Map)

Exposure Zone: C (BRANZ Map)

Sea Spray Zone: No

Climate Zone: 3 (BRANZ Map)

Land Zone: TC2

**SITE PLAN LEGEND**

- Boundary Line
- Boundary setback as per TA District Plan
- BUILDINGS / PROPOSED BUILDINGS
- Driveway / Paved Area  
Exposed aggregate concrete, 100mm slab with SE62 reinforcing on AP40 Grade engineering fill compacted in 150mm layers  
- 1:100min falls as shown, typically away from dwelling  
- finish to have slip resistance to comply with NZBC D1/AS1

**SITE PLAN GENERAL NOTES**

- Contractor to confirm all dimensions on site.
- All drawings to be read in conjunction with engineering/consultants documentation.
- Confirm all existing services on site.
- Contractor to confirm with designer if there is a conflict between consultant documentation and accepts liability for decisions made without consultation.
- All unpaved areas are to be a minimum of 225mm below Finished Floor Level. Paved areas to be a minimum of 150mm.
- Sediment controls to be taken during the construction process. To be read in conjunction with Environment Canterbury's "Erosion and Sediment Control Guideline 2007".
- Provide stabilized entry pad & wash down area for contractor vehicles in accordance with ECAN sediment control for small sites.
- A runoff diversion bund will be included in the site access way if required. sediment on footpaths and roads will be removed as soon as practicable.
- All sediment control measures & structures are to be installed prior to major earthworks and are to be checked and maintained every day.
- Stockpiles to be covered with impervious sheet.
- Excavated topsoil is to be spread around the site and flatted where possible. The rest is to be removed from site. While stored on site all soil is to be covered with impervious sheet.
- Contractor to install temporary site fences (max 1800mm high from FGL) and lockable gates during the construction period to comply with F5/AS1.

**BROOKSFIELD**  
HERITAGE

PROJECT NAME  
Milton Street Townhouses  
Scale 1:150 @ A3  
Date 18/10/2021

PROJECT ADDRESS  
62 Milton Street  
Spreydon  
Christchurch

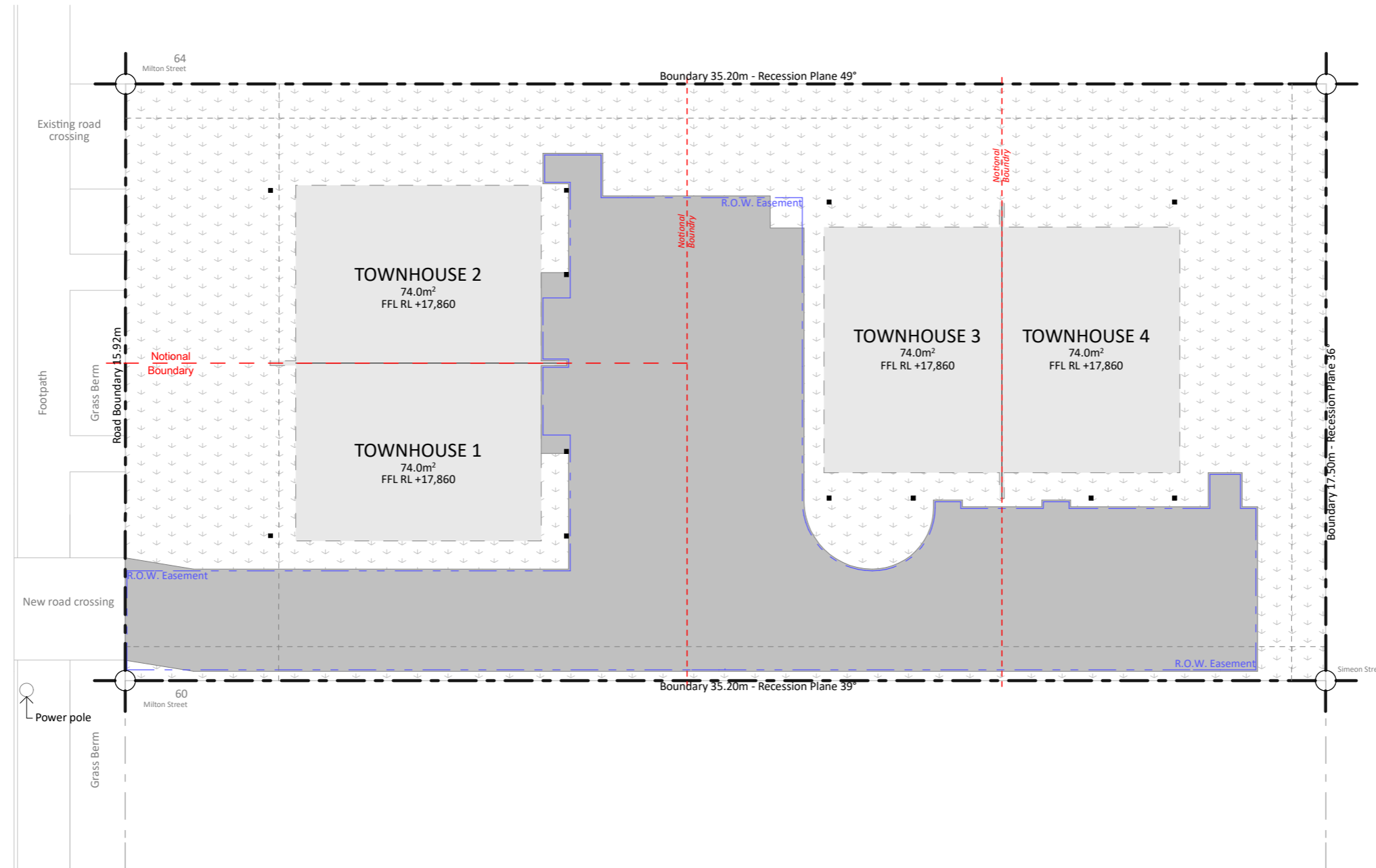
DRAWING NO. REVISION

**A001 A**

DRAWING NO.  
SITE PLAN



MILTON STREET



**0. SITE BOUNDARY PLAN**  
SCALE 1:150

**SITE BOUNDARY PLAN LEGEND**

- - - Property/Notional Boundary Line
- R.O.W Easement
- Vegetation/Landscaping

**Surveyor to confirm property areas and boundary lines at time of subdivision consent**

**TOWNHOUSE 1:**

Ground Floor Area: 36.5m<sup>2</sup>  
**First Floor Area: 37.5m<sup>2</sup>**  
 Total Floor Area: 74.0m<sup>2</sup>

Property Area: TBCm<sup>2</sup>

**TOWNHOUSE 2:**

Ground Floor Area: 36.5m<sup>2</sup>  
**First Floor Area: 37.5m<sup>2</sup>**  
 Total Floor Area: 74.0m<sup>2</sup>

Property Area: TBCm<sup>2</sup>

**TOWNHOUSE 3:**

Ground Floor Area: 36.5m<sup>2</sup>  
**First Floor Area: 37.5m<sup>2</sup>**  
 Total Floor Area: 74.0m<sup>2</sup>

Property Area: TBCm<sup>2</sup>

**TOWNHOUSE 4:**

Ground Floor Area: 36.5m<sup>2</sup>  
**First Floor Area: 37.5m<sup>2</sup>**  
 Total Floor Area: 74.0m<sup>2</sup>

Property Area: TBCm<sup>2</sup>

**BROOKSFIELD**  
HERITAGE

PROJECT NAME  
 Milton Street Townhouses  
 Scale 1:150 @ A3  
 Date 18/10/2021

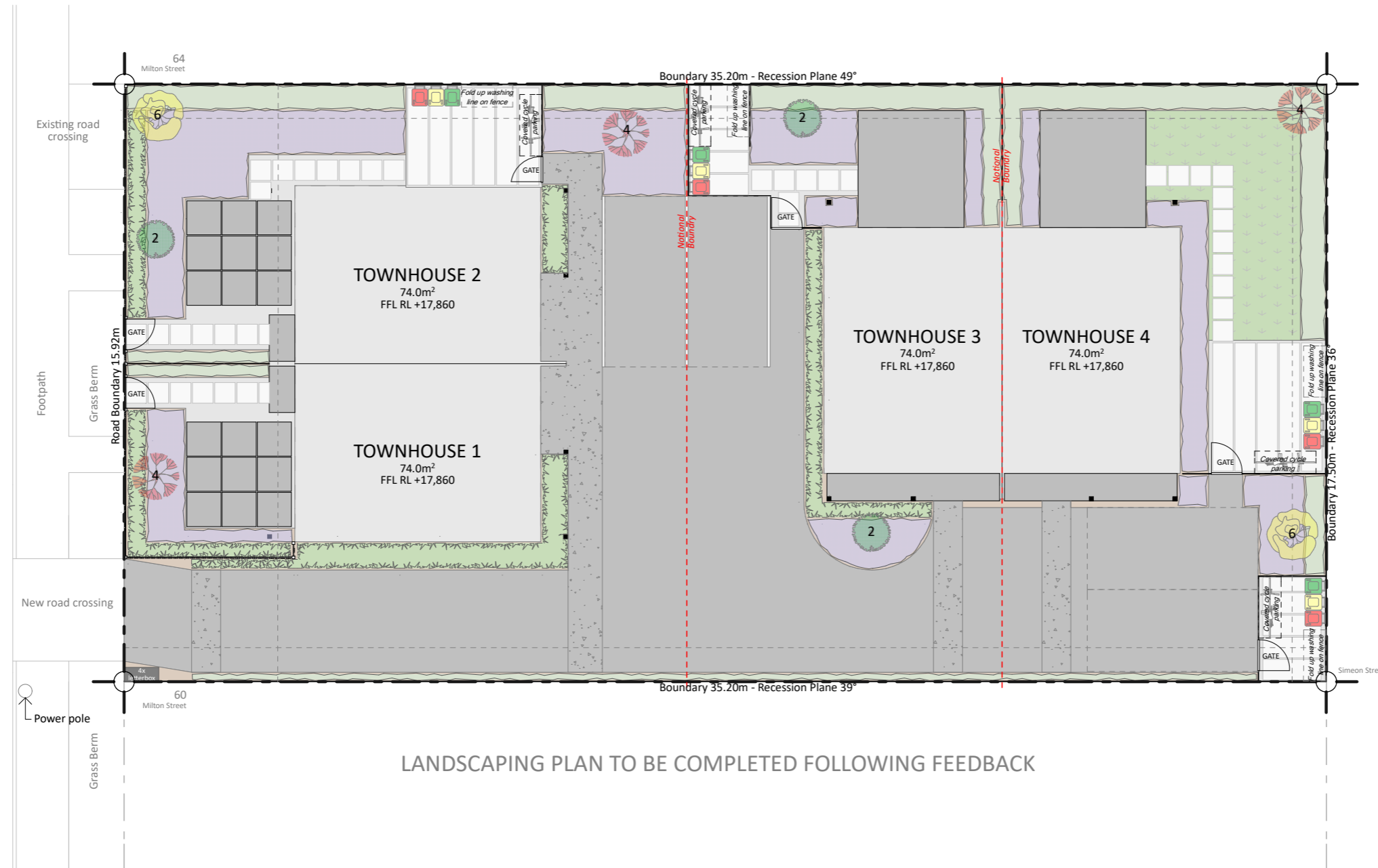
PROJECT ADDRESS  
 62 Milton Street  
 Spreydon  
 Christchurch

DRAWING NO. REVISION

**A002 A**

DRAWING NO.  
**SITE BOUNDARY PLAN**

MILTON STREET



**0. LANDSCAPING PLAN**  
SCALE 1:150

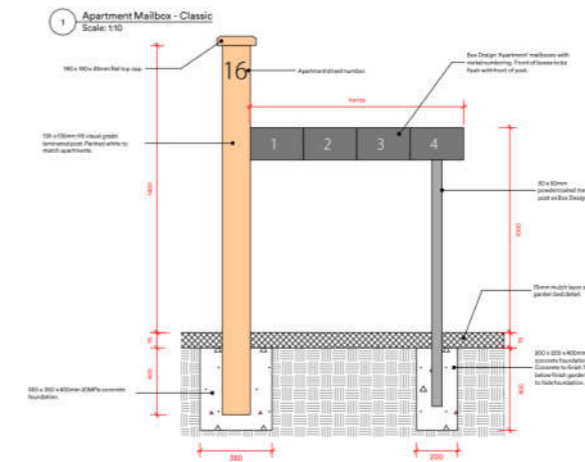
**LANDSCAPE LEGEND**

- Grass / lawn Area
- Planting Area
- Lime Area  
- lime chip finished
- Paver  
- 600x600 concrete pavers
- Patio  
- formed with 100mm concrete slab

Notes:  
 - All Trees to be 1.5m (min) height at time of planting  
 - Planting beds to be medium bark chip finished  
 - Landscaping areas to be 50% trees, 50% shrubs

**PLANT LEGEND**

TYPE 1 - BOX HEDGE "Buxus sempervirens"	TYPE 2 - JAPANESE MAPLE "Acer palmatum"	TYPE 3 - GRISELINIA LITTORALIS HEDGE "Broadway Mint"	TYPE 4 - CHERRY TREE "Prunus Accolade"	TYPE 5 - FLOWER MIX Hydrangea, Lavender, and selected flowering plants	TYPE 6 - KOWHAI TREE "Sophora microphylla"



**BROOKSFIELD**  
HERITAGE

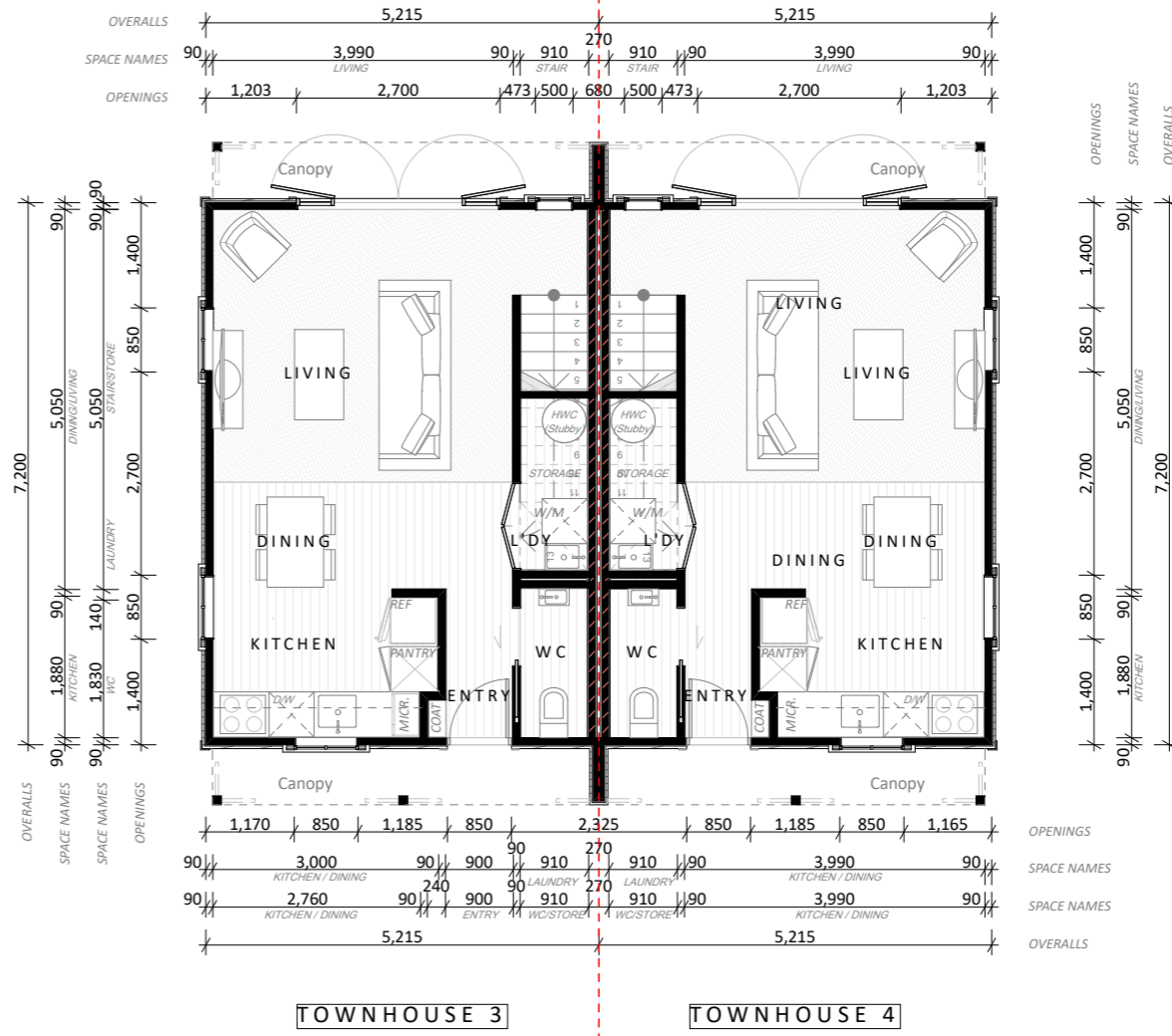
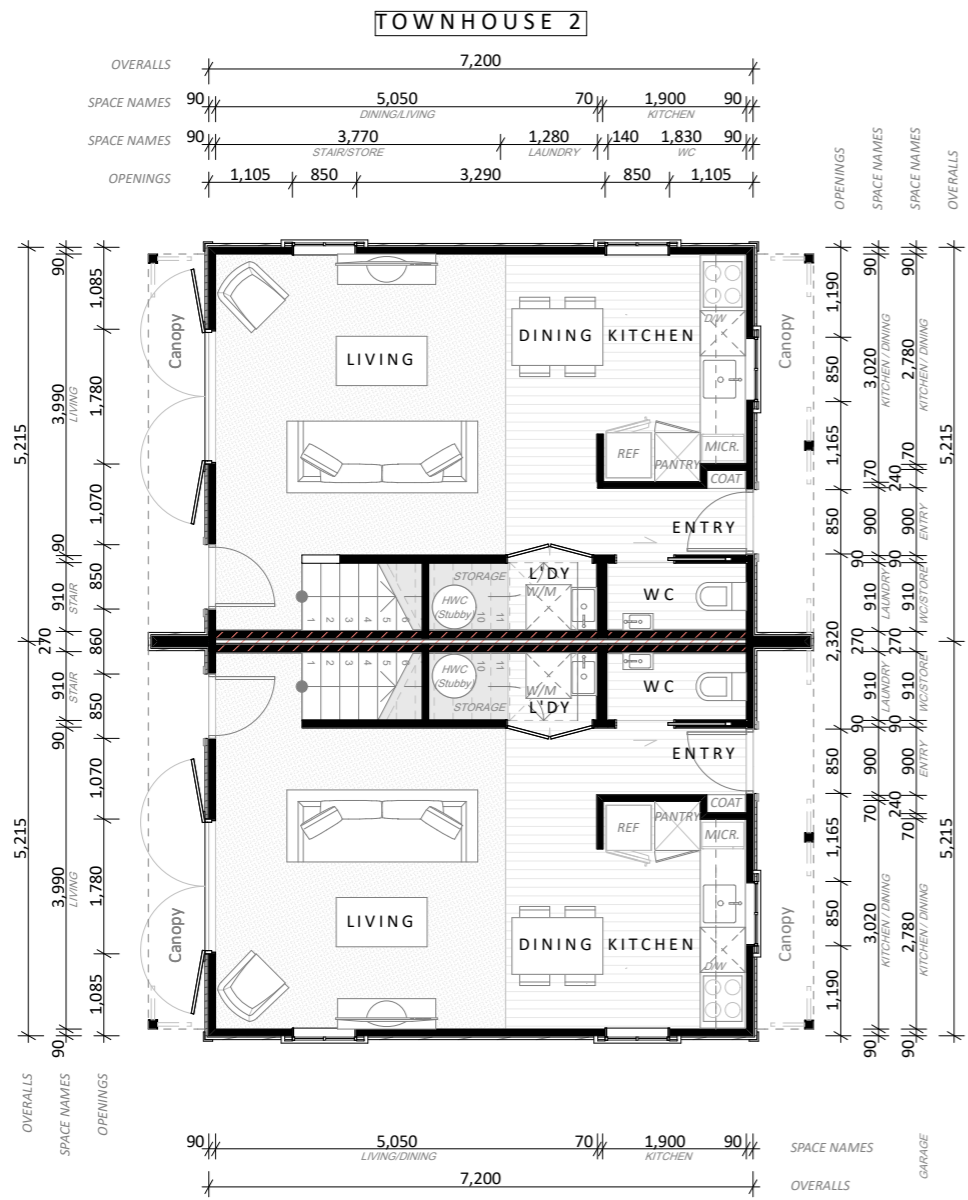
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


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**A004 A**

DRAWING NO.  
LANDSCAPING PLAN



1. GROUND FLOOR PLAN  
SCALE 1:100

- LEGEND - WALLS**
- 
 90mm Timber Framed wall (external wall)
    - 10mm GIB Board internal lining
    - 20mm drained cavity
    - James Hardie Linea weatherboard
  - 
 90mm Timber Framed wall (internal wall)
    - 10mm GIB Board internal lining both sides
  - 
 Resene Constructions Systems INTA120b Intertency System installed to manufacturers specifications

**WALL NOTES:**

All internal timber framed walls to be 90x45 H1.2 SG8 timber, studs @ 600 c/c, dwangs @ 800 c/c. Unless otherwise noted

All external timber framed walls to be 90x45 H1.2 SG8 timber, studs @ 600 c/c, 90x45 SG8 H1.2 dwangs @ 800 c/c, unless noted otherwise

**Top Plate Fixing:** Top plate to be fixed to studs @ 600 max c/c with 2-90 x 3.15 end nails + 2 wire dogs or 4.7kN alternative fixing unless noted otherwise

**Bottom Plate Fixing:** Proprietary anchor's @ 900 max crs with 50x50x3 flat washer unless noted otherwise

**GENERAL NOTES:**

All entries and exits to be in accordance with NZBC D1/AS1.

Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/table 2.

Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 table 2 and also to be in accordance with NZBC E3 - Internal Moisture.

Kitchen bench top to comply with NZBC G3/AS1.

Refer to Door and Window schedules for lintel sizes.

Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood. refer nzbc g4/as1 1.3.c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.

Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F1/AS1 with hush facility (3.0m radius)

All exposed fixings to be stainless steel

Contractor to install all new plumbing fixtures and appliances to manufacturers specifications.

Contractor to furnish and install all hardware unless noted otherwise.

Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall scone and accessory locations.

**BROOKSFIELD**  
HERITAGE

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Scale 1:100 @ A3  
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Christchurch

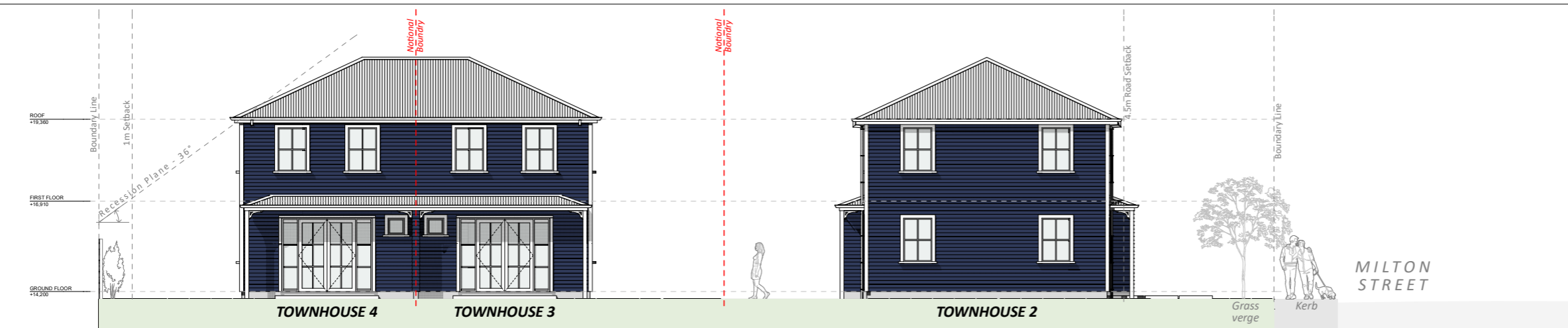
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**A100** **A**

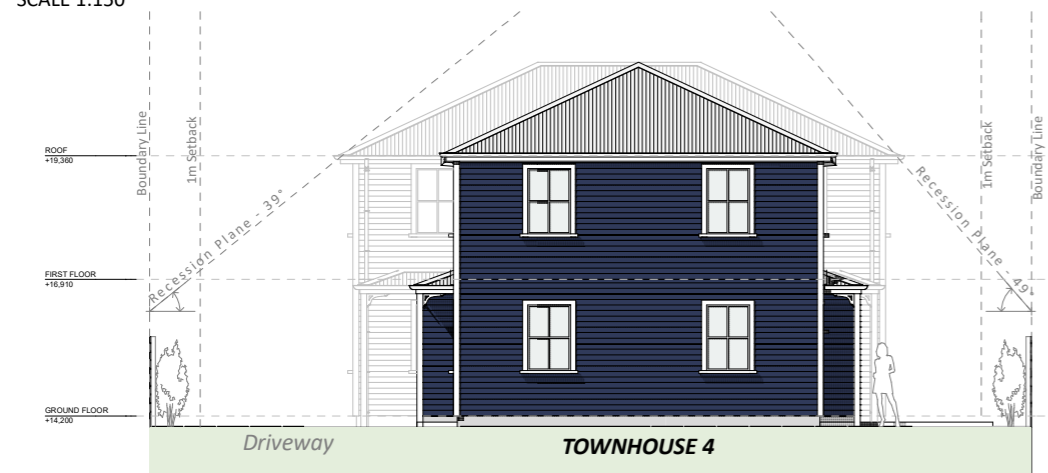
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**GROUND FLOOR PLANS**



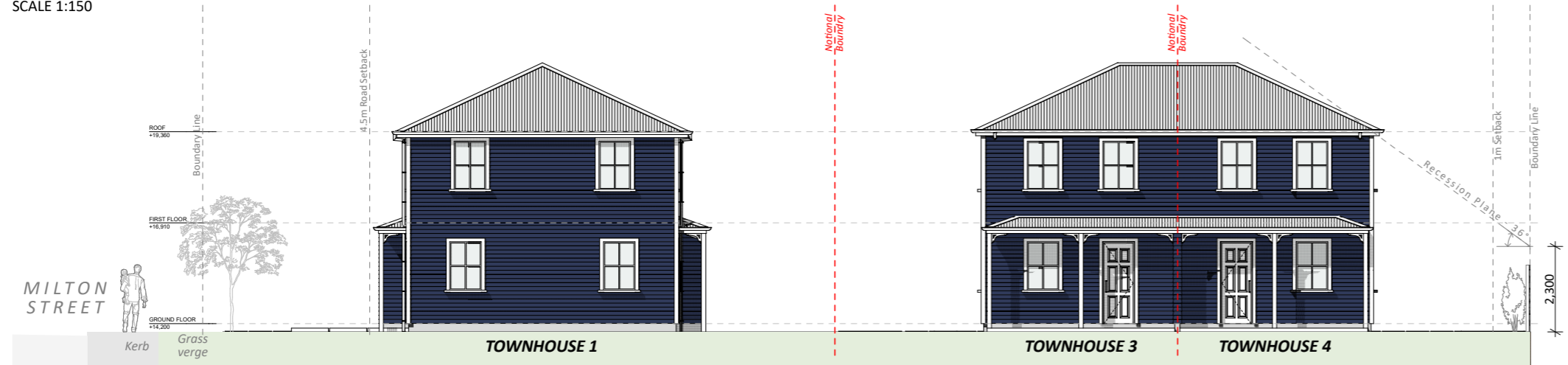




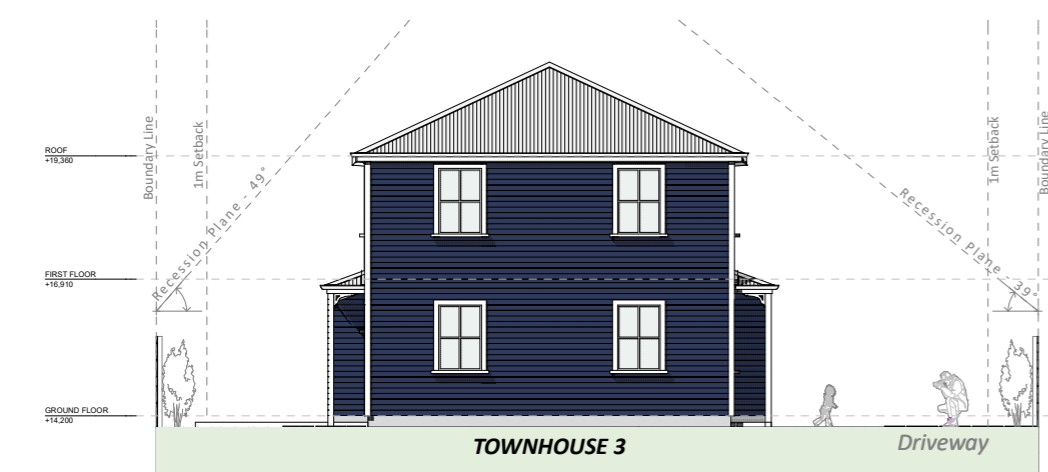
**E02 EAST ELEVATION**  
SCALE 1:150



**E03 SOUTH ELEVATION**  
SCALE 1:150



**E04 WEST ELEVATION**  
SCALE 1:150



**E05 NORTH ELEVATION TH 3**  
SCALE 1:150

**LEGEND**

**Roof**  
 - Diamond Corrugate (0.55mm BMT) Colorsteel  
 Endura roof cladding over Thermakraft Covertex roof underlay  
 - Colour TBC by Brooksfield before ordering

**Horizontal Weatherboard**  
 James Hardie Linea Weatherboard 180 installed as per manufacturers specifications on 20mm drained cavity system over building wrap.  
 - Colour to be Resene Blue Night  
 - Confirm with Brooksfield before ordering

**NOTES**

**Gutter**  
 Gutter with finish to match roofing fixed to fascia.  
 Falls as shown on roof plan

**Downpipes**  
 Downpipes to be 80Ø, finish & colour to match roofing (UNO)

**Joinery**  
 APL powder coated aluminium exterior doors in selected finish and Sierra Pacific uPVC windows  
 - Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

Fascia, window trims, facings and entry post  
 - Colour to be Resene Half Merino  
 - Confirm with Brooksfield before ordering

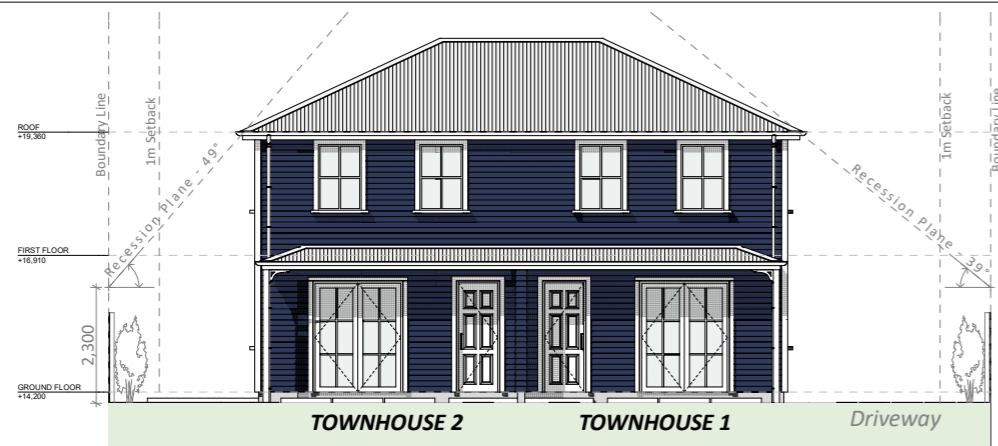
**BROOKSFIELD**  
HERITAGE

PROJECT NAME  
 Milton Street Townhouses  
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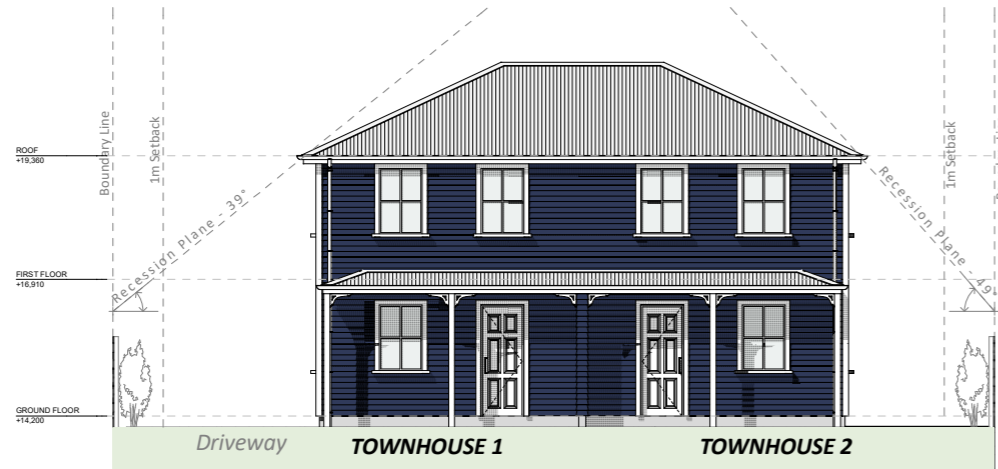
PROJECT ADDRESS  
 62 Milton Street  
 Spreydon  
 Christchurch

DRAWING NO. REVISION  
**A200 A**

DRAWING NO. SITE ELEVATIONS



**E01 NORTH ELEVATION**  
SCALE 1:150



**E06 SOUTH ELEVATION TH 1 & 2**  
SCALE 1:150



**E07 STREET ELEVATION**  
SCALE 1:100

**LEGEND**

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 - Dimond Corrugate (0.55mm BMT) Colorsteel  
 Endura roof cladding over Thermakraft Covertex roof underlay  
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**BROOKSFIELD**  
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 Spreydon  
 Christchurch

DRAWING NO. REVISION

**A201 A**

DRAWING NO.  
 SITE ELEVATIONS





Artist's impression - Street View



Artist's impression - Driveway View

BROOKSFIELD  
HERITAGE

PROJECT NAME  
Milton Street Townhouses  
Scale @ A3  
Date 18/10/2021

PROJECT ADDRESS  
62 Milton Street  
Spreydon  
Christchurch

DRAWING NO. REVISION

A300 A

DRAWING NO.  
3D IMAGES



# Price List

House	Bedrooms	Bathrooms	Carparks	House Size	Price
House 1	2 + Study	1.5	Carpark	74m2	\$699,000.00
House 2	2 + Study	1.5	Carpark	74m2	\$699,000.00
House 3	2 + Study	1.5	Carpark	74m2	\$699,000.00
House 4	2 + Study	1.5	Carpark	74m2	\$699,000.00

Expected Start

April 2022

Expected Completion

October 2022

Title Type

Fee Simple

All prices include a full turnkey property, meaning it includes everything ready to move into on settlement.

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